

# City of Frankfort

## Capital of Kentucky

315 West Second Street, P.O. Box 697  
Frankfort, Kentucky 40602  
(502) 875-8500  
www.frankfort.ky.gov

### Mayor

William I. May, Jr.

### Commissioners

John R. Sower  
Scott Tippet  
Katrisha Waldrige  
Eric E. Whisman

August 11, 2020

To: Architectural Review Board  
From: Jordan Miller, Senior Planner  
Re: Meeting – August 18, 2020

There will be a meeting of the Architectural Review Board held at 5:00 P.M. on Tuesday, August 18, 2020 via teleconference in accordance with SB 150 and the requirements of KRS 61.823. ARB Board members, Planning Staff and Applicants will participate in the meeting using teleconferencing and the meeting will be live streamed in accordance with the statutory requirements. The following items are on the agenda for consideration (please be aware that because this will be a special called meeting the board may not discuss items that are not on the agenda as advertised):

#### **ROLL CALL**

**APPROVAL OF MINUTES:** July 21, 2020

#### **NEW BUSINESS:**

1. In accordance with Articles 4 and 17 of the City of Frankfort Zoning Ordinance, John Clark is requesting a Certificate of Appropriateness to construct a new single-family dwelling for the property located at 416 Capital Avenue. The property is more particularly identified as PVA Map Number 062-31-06-004.00.
2. In accordance with Articles 4, 17, 18, and 19 of the City of Frankfort Zoning Ordinance, Dominique L. Wilson d/b/a New Life Counseling Services LLC, is requesting a Conditional Use Permit in order to allow professional offices for the property located at 522 Steele Street. The property is more particularly described as PVA Map Number 062-14-01-008.00. **(PULLED BY STAFF)**
3. In accordance with Articles 4, 16, and 17 of the City of Frankfort Zoning Ordinance, John Sower is requesting a Certificate of Appropriateness in order to install new exterior features on the east elevation for the conversion of the second and third floors to apartments for the property located at 217-219 St Clair Street. The property is more particularly identified as PVA Map Number 061-24-14-008.00.
4. In accordance with Articles 4, 16, and 17 of the City of Frankfort Zoning Ordinance, Marnie Walters is requesting a Certificate of Appropriateness in order to modify the garage door opening on the

front façade for the property located at 312 Lewis Street. The property is more particularly identified as PVA Map Number 061-24-13-022.00.

5. In accordance with Articles 4 and 17 of the City of Frankfort Zoning Ordinance, First Corinthian Baptist Church is requesting a Certificate of Appropriateness to demolish the existing structure and construct a community center for the property located at 216 Murray Street. The property is more particularly identified as PVA Map Number 062-31-14-010.00. **(PULLED BY APPLICANT)**

## ADJOURN

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*\*Staff reports for these items may be available seven (7) days prior to the meeting on the Planning Department webpage at [www.frankfort.ky.gov/planning](http://www.frankfort.ky.gov/planning). Additional information may also be obtained by calling 502-352-2097 during business hours, Mondays through Fridays, 8:00 a.m. to 4:30 p.m. Anyone wishing to submit comments on any of the items on the agenda may submit comments via e-mail to [jmiller@frankfort.ky.gov](mailto:jmiller@frankfort.ky.gov) anytime before 12:00pm August 18, 2020.*



ARCHITECTURAL REVIEW BOARD

July 21, 2020

5:00 PM

PATTI CROSS, PRESIDING

Members Present:

Irma Johnson  
Jennifer Oberlin  
Patti Cross  
Nicole Konkol

Also Present:

Edwin Logan, Attorney  
Eric Cockley, City of Frankfort Planning Director Planning and Community Development

The first item of business was the approval of the minutes of the June 16, 2020 meeting. Ms. Oberlin made a motion to approve the minutes. The motion was seconded by Ms. Johnson and all were in favor.

Chair Cross asked the Secretary to introduce the next item of business.

**In accordance with Articles 4 and 16 of the City of Frankfort Zoning Ordinance, Jen Spangler Williamson d/b/a Spangler Williamson A+E on behalf of Greg & Jen Miklavcic, is requesting a Certificate of Appropriateness in order to make exterior modifications to the north, south, east and west elevations for the property located at 321 Ewing Street. The property is more particularly described as PVA Map Number 062-13-07-026.00.**

Eric Cockley, City of Frankfort Planning Director was present and mentioned that this property was before the Board last month for approval of the first set of modifications and they are now before the Board for a second set of modifications.

Mr. Cockley explained that the scope of work includes returning a front window to the original opening size, restoring the south side window to the original opening size, reconstructing a bay window on the north elevation to its previous location, reconfiguring the window fenestration on the rear addition and constructing a patio in lieu of the previously approved deck while maintaining the same footprint.

Mr. Cockley stated that staff recommended approval of the modifications with the conditions outlined in the staff report.

The applicant Jen Williamson was present and mentioned that they have been before the Board twice, once in April for the initial scope of work which included the removal of the rear addition and again in June for modifications to the front porch and restoring a bay window.

Ms. Williamson explained that as they got into the project and removed the siding they found evidence of original windows as well as the bay on the north elevation. Ms. Williamson stated that she hopes the Board would find the changes appropriate because of the evidence that these features were previously present.

Ms. Cross asked if they had read the report and agreed to the conditions of approval. Ms. Williamson stated that they had.

Ms. Cross stated that they had received a letter in support of the project.

Ms. Konkol made a motion in accordance with Articles 4 and 16 of the City of Frankfort Zoning Ordinance, to approve the request from Jen Spangler Williamson d/b/a Spangler Williamson A+E on behalf of Greg & Jen Miklavcic, for a Certificate of Appropriateness in order to make exterior modifications to the north, south, east and west elevations for the property located at 321 Ewing Street with the following conditions:

1. The existing open building permit shall be amended to reflect the work approved in this request.
2. Any additional projects requiring a building permit shall require review and approval by the Architectural Review Board unless a Certificate of No Exterior Effect is issued.
3. All exterior work conducted as part of this approval shall conform to the design and drawings contained in this report.

The motion was seconded by Ms. Johnson and passed unanimously.

There being no other business, Ms. Konkol made a motion to adjourn. The motion was seconded by Ms. Johnson and all were in favor. The meeting adjourned at 5:18 pm.

416 Capital Avenue  
Special Capital Historic District

John Clark, Applicant/Owner

Request

In accordance with Articles 4 and 16 of the City of Frankfort Zoning Ordinance, John Clark is requesting a Certificate of Appropriateness to construct a new single-family dwelling for the property located at 416 Capital Avenue. The property is more particularly identified as PVA Map Number 062-31-06-004.00.

Scope of Work

The applicant is under contract to purchase the lot located at the corner of West 4<sup>th</sup> Street and Capital Avenue. This proposal is to construct a 2,800 sq. ft. two-story single-family home on concrete slab. The proposed house is designed by Deltec Homes, which is best known for producing energy-efficient, round houses. These houses slightly resemble octagonal houses that were popular in the mid-to-late-19<sup>th</sup> Century.

The applicant has stated that the design company will not begin final design, engineering, and architectural processes without a nominal deposit, and therefore cannot submit final drawings at the current time. The applicant would like a preliminary approval at this time to begin the process and allow the applicant to present final drawings for a final review to this Board at a future meeting.

The structure will consist of a 39' diameter main body with a two-story 16'x16' crescent wing and an 8'x8' entry porch. The house will stand nearly 25' tall and an 8' deck with a 2'-3' overhang will surround the main body broken by the wing and porch.

The house will be highly fenestrated with wood windows and doors. The roof will feature architectural asphalt shingles and half-round gutters and round downspouts. Original basement walls and remaining stone on the property will be repurposed. Fiber-cement lap board siding will cover the exterior.

The front elevation of the structure will face West Fourth Street and will have the following setbacks.

- West Fourth Street: 72'
- Capital Avenue: 63'
- Side: 75'
- Rear: 36'

Background

The property is the former site of "The Magnolias," a substantial brick-veneered house which burned in 1912; the lot has remained vacant since. The house was oriented to West Fourth Street. The site does retain its historic metal and stone perimeter fence and what appear to be portions of foundations.

Significance of Structure

The site is a contributing property to the South Frankfort National Historic District.

Guidelines - Special Capital Zoning District

17.11 - DESIGN GUIDELINES FOR NEW CONSTRUCTION OR MOVING OF A STRUCTURE INTO THE HISTORIC DISTRICTS

- A. Proportion of Building's Street Front Façade: The existing relationship between the width and height of the street front elevation(s) of the building (s) in the immediate area shall be maintained.

- B. Proportion of Windows and Other Openings Within the Façade: The relationship of width to height of windows, doors and other openings of the facades of building(s) in the immediate area shall be maintained.
- C. Rhythm of Solids in Street Front Facades: Rhythm being an ordered recurrent alternation of strong and weak elements. Moving by an individual building, one experiences a rhythm of masses to openings. This rhythm shall be maintained.
- D. Rhythm of Spacing of Buildings Along Streets: Past a sequence of buildings, one experiences a rhythm of recurrent building masses to spaces between them. This rhythm shall be maintained.
- E. Rhythm of Entrance and/or Projections: The relationships of entrances to sidewalks. Moving past a sequence of structures, one experiences a rhythm of entrances and projects (such as porches) at an intimate scale. This rhythm shall be maintained.
- F. Relationship of Materials: Within the immediate area, the predominant material may be brick, stone, stucco, wood siding or other material. This relationship shall be maintained.
- G. Relationship of Textures: The predominant texture within an area may be smooth, rough, horizontal, vertical or other texture or a combination of these textures. This relationship shall be maintained.
- H. Relationship of Color: Within an area, the predominant color may be that of natural materials, or the patina of materials colored by time. The accent of blending colors of trim may also be predominant. This relationship shall be maintained.
- I. Relationship of Architectural Details: Predominant details within an area may include cornices, lintels, arches, quoins, balustrades, wrought iron work, chimneys, and other significant design elements. The relationship of architectural details shall be maintained.
- J. Walls of Continuity: Within an area, physical elements, such as brick walls, wrought iron fences, landscaping masses, building facades, or combinations of these, may form a cohesive enclosure or sense of enclosure along a street. These walls of continuity shall be maintained.
- K. Relationship of Landscaping and Landscape Elements: There may be a predominance of a particular quality and quantity of landscaping and landscape elements within an area. These landscaping and landscape elements may combine to provide a certain mass and continuity. This relationship shall be maintained.

- L. Ground Cover: Within an area, there may be a predominance in the use of ground cover, such as brick pavers, cobble stones, granite blocks, tabby grass, moss, or other materials. The predominance of these materials shall be maintained.
  
- M. Scale and Units of Scale: Scale, within an area, is created by the size of structures, landscaping, landscaping elements, and architectural details which may relate to the human size, monumentality or some other order of proportion. Scale is also determined by structural, landscape or other such masses and their relationships to open space. The predominant elements of scale may be brick or stone units, windows or door openings, porches or balconies, landscape massings, roof pitches, eave lines, etc. The ambient scale of an area and its units of scale shall be maintained.
  
- N. Directional Expression of Building Facades: Structural shape, placement of openings, and architectural detailing may provide a predominantly vertical, horizontal, or a non-directional character to the building facades.

Findings

Staff finds that the proposal falls within Guideline 17.11.D as the “rhythm of recurrent building masses to spaces between them” will be maintained. The existing wrought iron fencing with brick columns and entrances onto the property from the sidewalk will be maintained, which meets Guidelines 17.11.E and 17.11.J. The existing landscaping, which features several mature trees, will remain, meeting Guideline 17.11.J and 17.11.K. Ground cover in the area consists of plant material, concrete, and asphalt; the proposal will reflect this with a concrete driveway and an abundance of vegetation, meeting Guideline 17.11.L.

Materials within the area feature a mix of siding (lap wood, vinyl, aluminum, and asbestos) and brick. The proposed material is a fiber cement board exterior and the remaining foundation stone will be reused, falling within Guidelines 17.11.F and 17.11.G. The area features an amalgam of colors, and the proposed grey siding will not detract from the area, meeting Guideline 17.11.H. The “relationship of width to height of windows and doors” is similar to those found in the area, meeting Guideline 17.11.B. While the size, scale, and design of the building does not keep with the surrounding area, Staff finds that this is less critical as the new structure is located away from the street and from the surrounding buildings as recommended by the Secretary of Interior. The location of the structure will somewhat follow the setbacks of the previous structure and will not block the primary elevations of other buildings in the area, which is also recommended by the Secretary of Interior. The Secretary also recommends that historic landscapes and significant viewsheds be preserved and Staff finds that this proposal meets this recommendation.

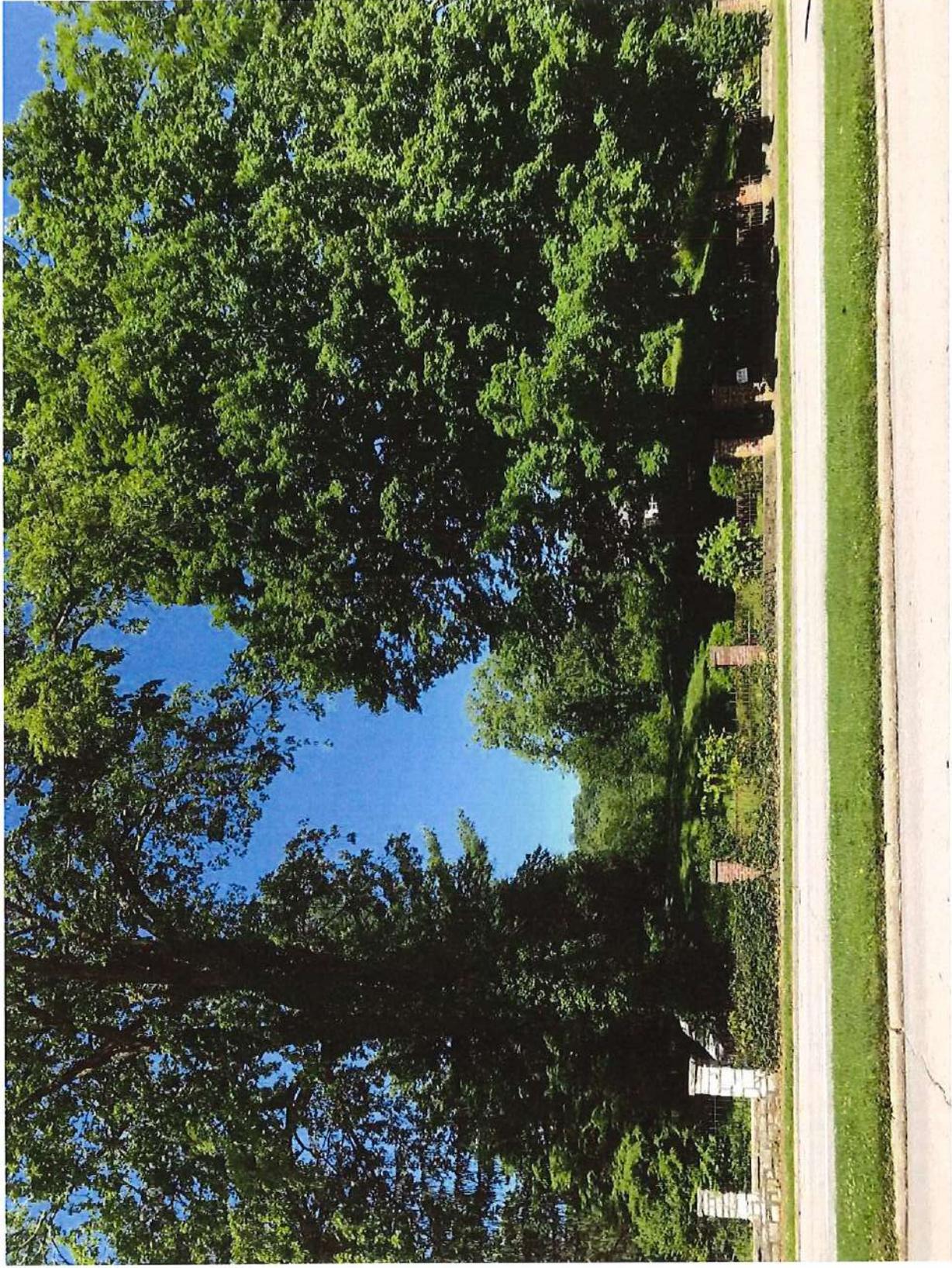
Recommendations

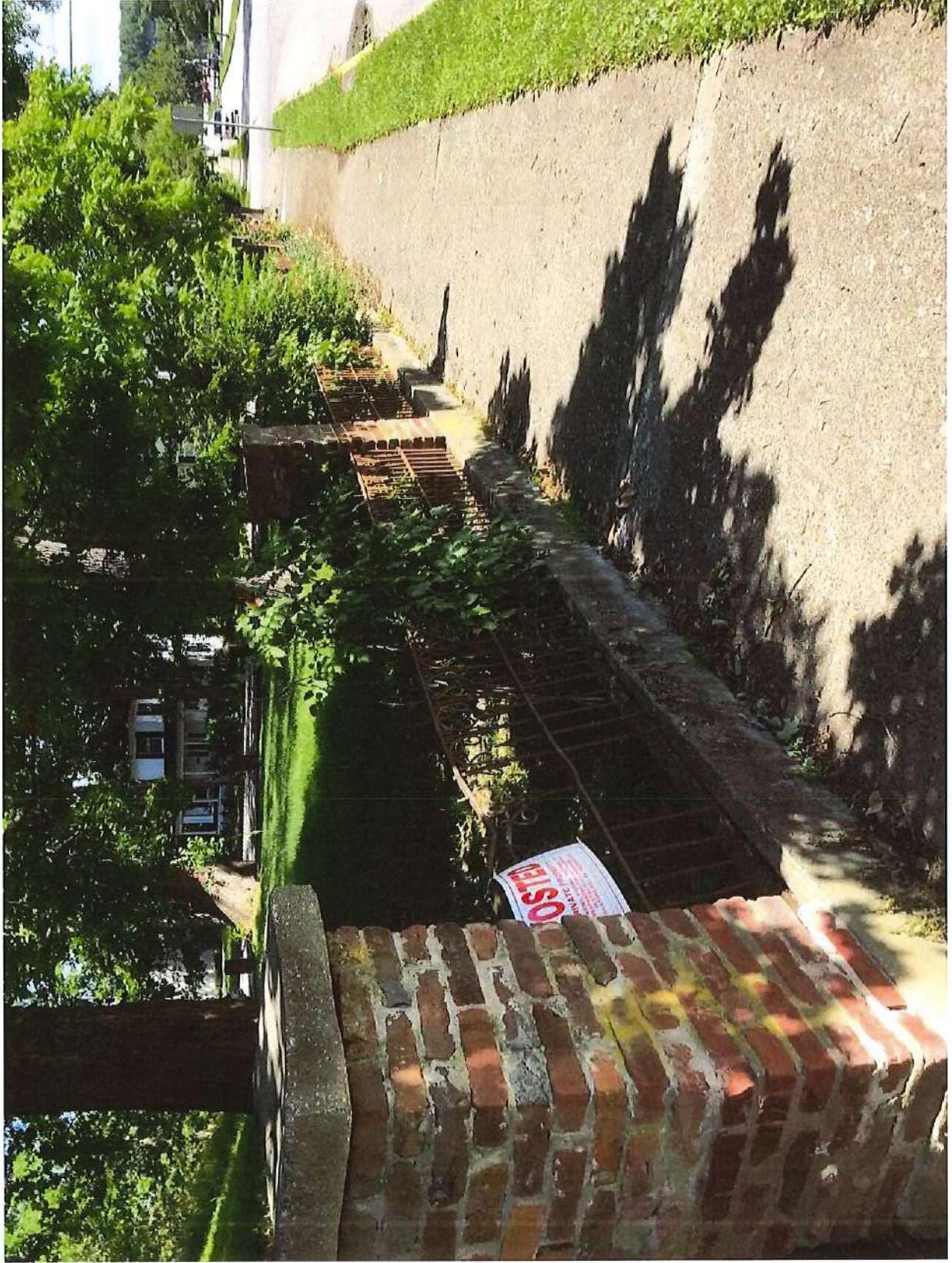
Staff recommends approval of the Certificate of Appropriateness with the following conditions.

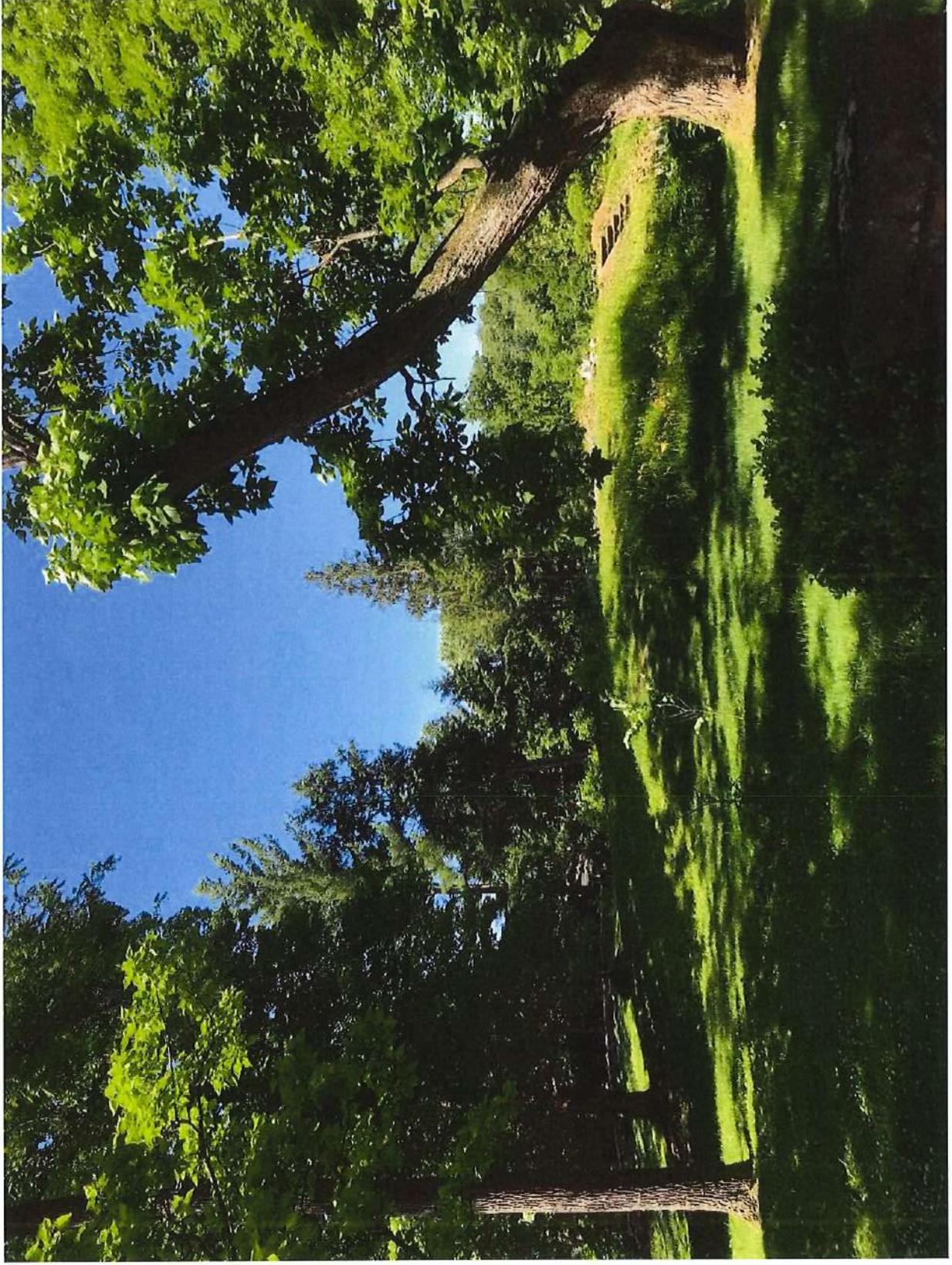
1. This approval is preliminary and for the general design, shape, and siting of the proposed structure.
2. The applicant shall present final drawings and design plans to the Board after they have been completed by the architect.
3. No building permit shall be issued nor any construction begin stemming from this approval until the final design has been presented to and approved by this Board.

























Longfellow-Hastings Octagon House in Pasadena, CA (constructed in 1893)



Hyde Octagon House in Friendship, NY (constructed 1848)



Octagonal House in Barrington, IL (constructed 1850)

Attachments

1. Preliminary drawings and renderings of proposal
2. *New Construction within the Boundaries of Historic Properties* – Secretary of Interior
3. Historic survey form

To whom it may concern,

We are proposing a new house construction on the vacant lot now addressed at 416 Capital Avenue. The house will sit in the same location as the original home that burnt down in 1912 as the story goes. By building on the original spot, we will retain the original driveway, bushes, trees, entrances and footpaths that have endured all this time. Additionally, we will be restoring the fence in a near identical fashion to keep as much of the history as possible. Similarly, the proposed house will be a 2-story, with main entrances in the same orientation as the original residence.

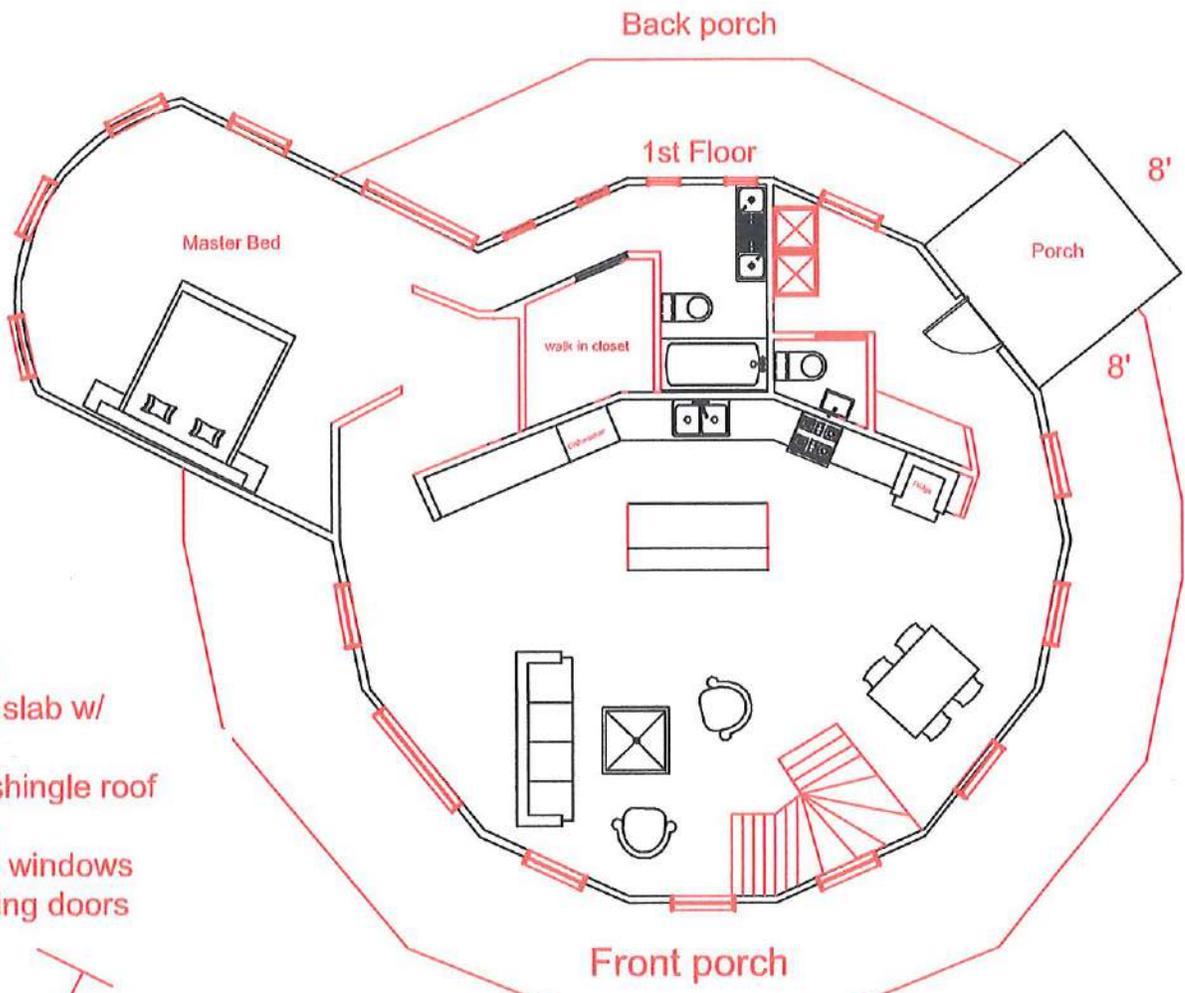
We would like to build a Deltec shell as they provide cutting edge technology, high energy-efficiency and top-quality materials that match historic aesthetics while providing superior durability. Unfortunately, Deltec will not begin the design, engineering and architectural processes without a nominal deposit. Therefore, without ARB approval, we cannot at this time submit final drawings. A soft approval now will begin the process and allow us to present such drawings and plans for final review at the next meeting.

The proposed house is currently 2,767 square feet on slab. This will consist of a 39' diameter main body, with a 2-story 16'x16' crescent wing nestled by the Dogwood tree and an 8'x8' entry porch in the same location as the original house side entryway. The house will stand nearly 25' tall at the apex. An 8' deck will surround the main body, broken by the wing and porch. The roof will feature architectural shingles and drain into half round gutters. Numerous wood-clad windows and wood-clad sliding doors will fill the house with light. The original basement walls and other remaining stone will be removed and set aside to be repurposed in an appropriate and visible manner. The removal of the original basement walls will ensure a sound, engineered foundation as time may have compromised the structural integrity of the remains.

Please consider this novel home that will feature historic aesthetics and period-specific qualities. Our dream is to bring this lot back to life and preserve as much history as possible, while adding a green home that stands the test of time. We appreciate the opportunity to present this to the community.

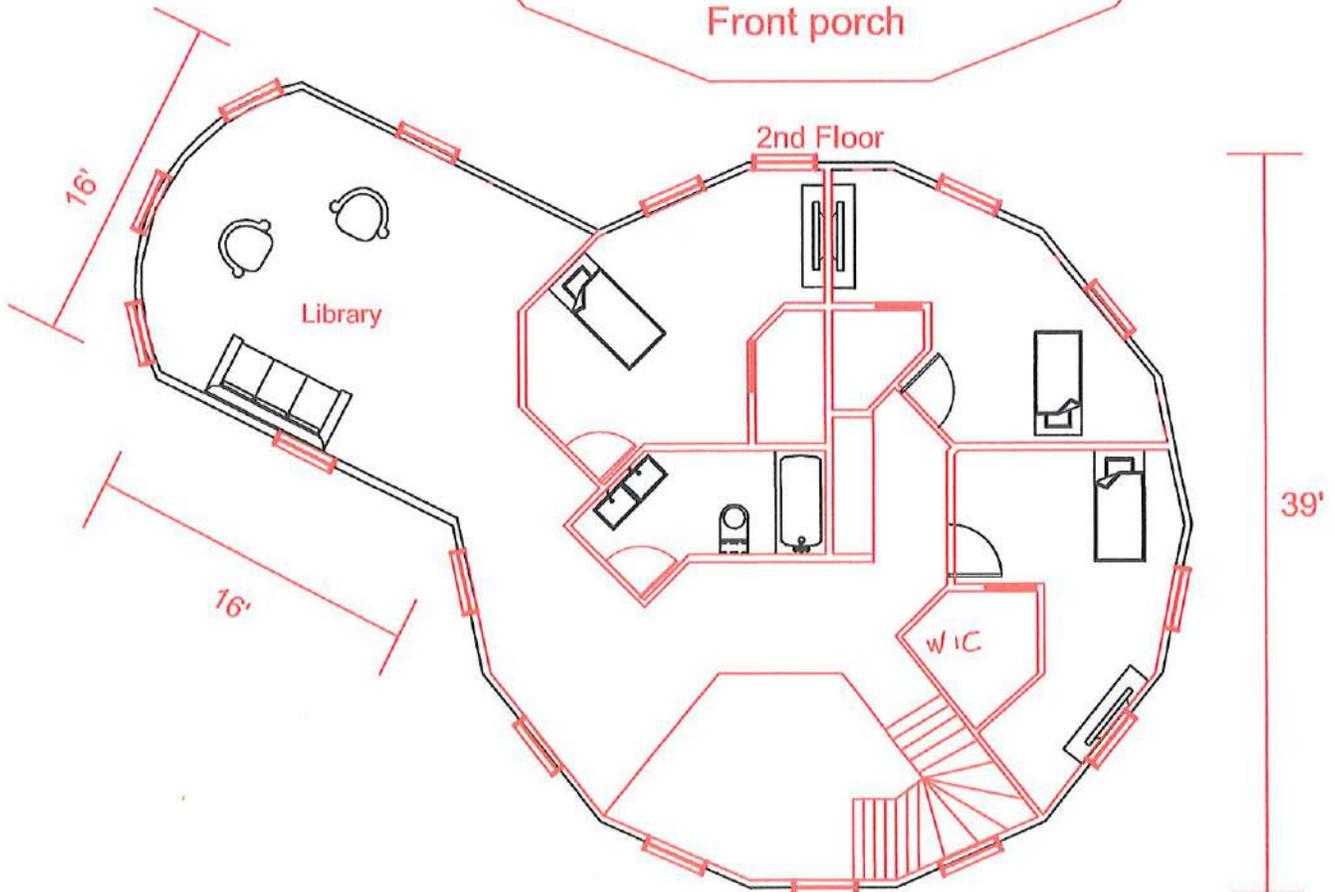
Most Sincerely,

John and Abby Clark



2767 sq ft  
2 story on slab w/

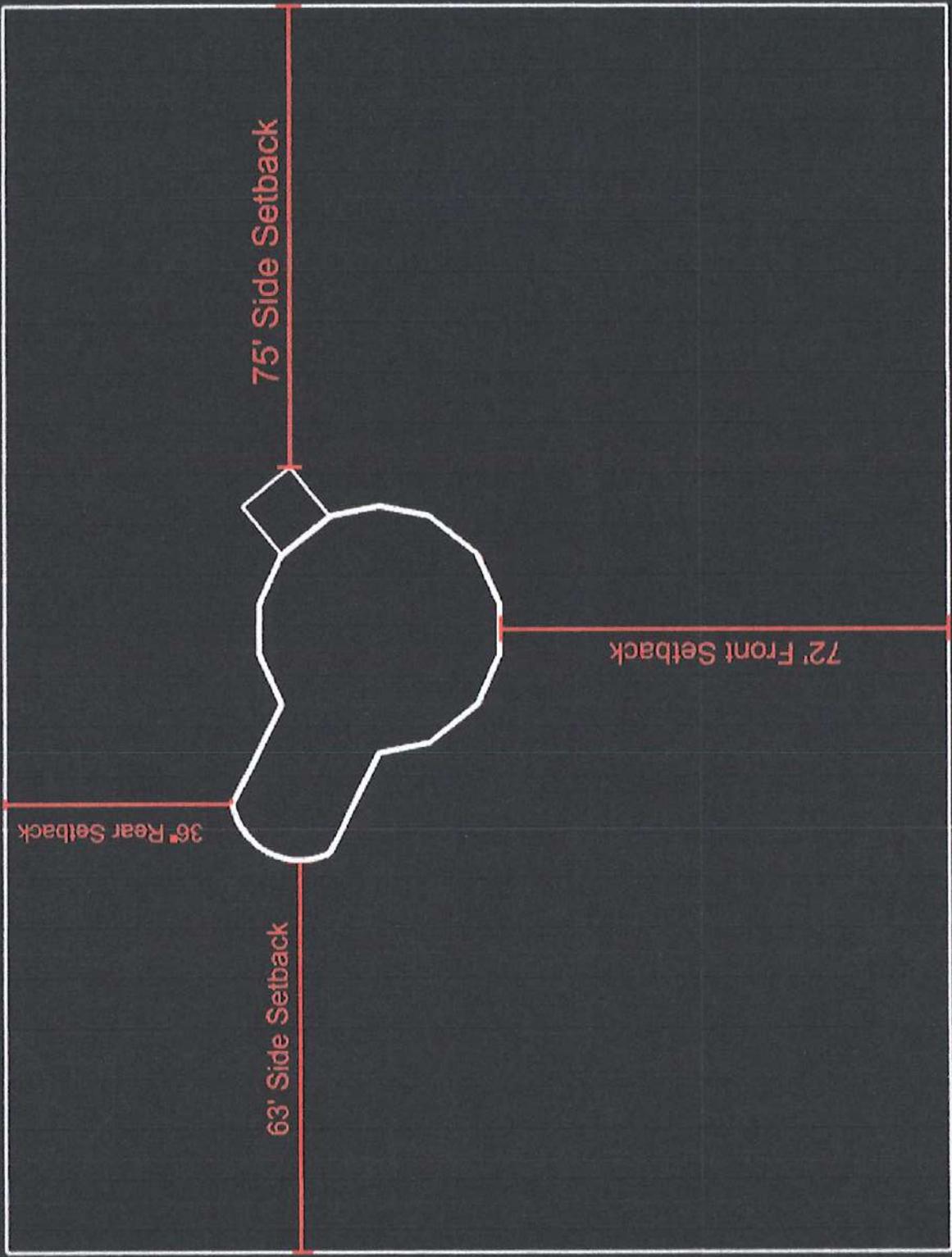
Architect shingle roof  
Lap siding  
Casement windows  
Wood sliding doors





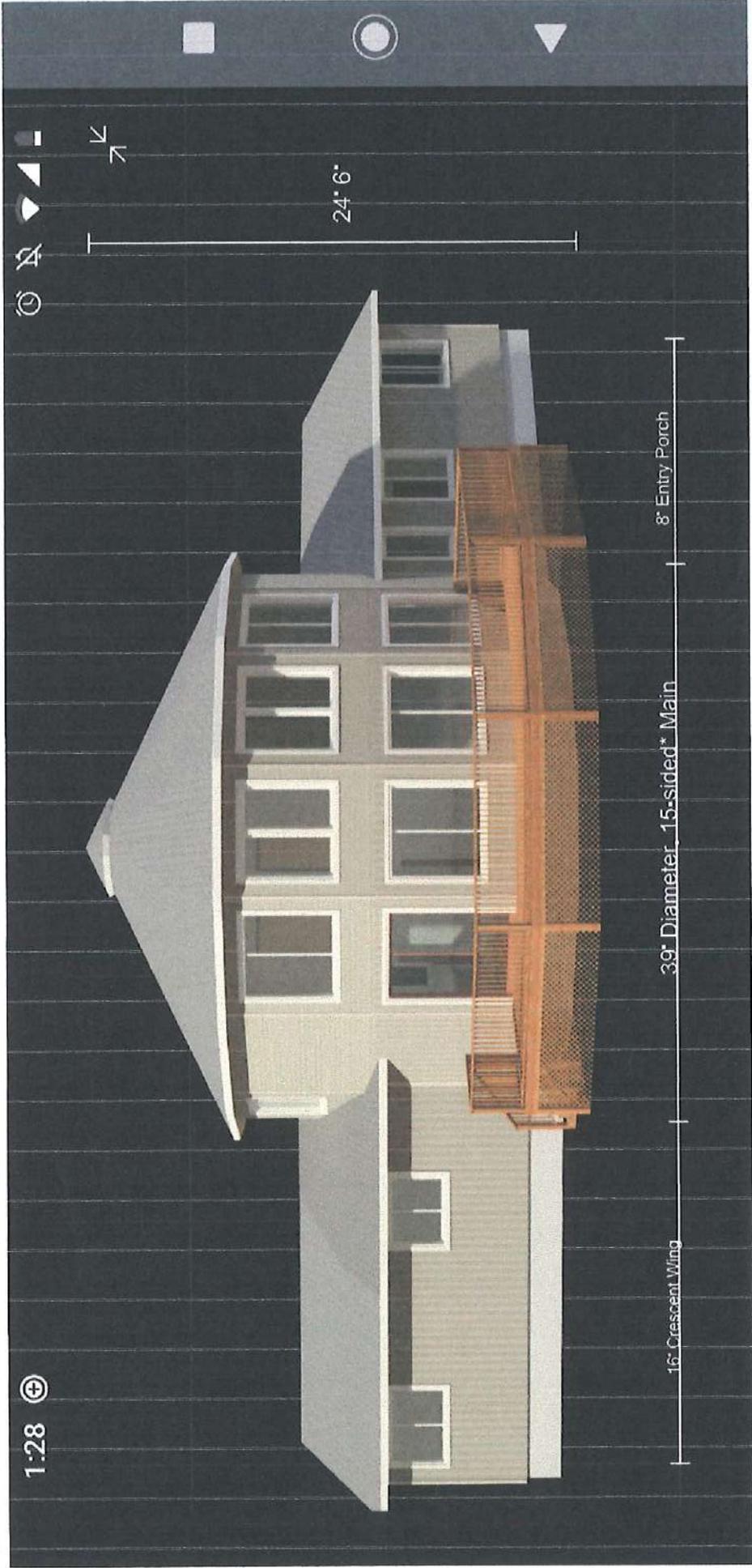
Model Detec





Capital Ave

4th Ave



Sample Deltec w/ similar main and wing orientation. Dimensions are specific to our proposed house.

## **New Construction within the Boundaries of Historic Properties**

It is possible to add new construction within the boundaries of historic properties if site conditions allow and if the design, density, and placement of the new construction respect the overall character of the site. According to the Secretary of the Interior's Standards for Rehabilitation – Standard 9 in particular – and the Guidelines for Rehabilitating Historic Buildings, new construction needs to be built in a manner that protects the integrity of the historic building(s) and the property's setting.

In addition, the following must be considered:

- Related new construction – including buildings, driveways, parking lots, landscape improvements and other new features – must not alter the historic character of a property. A property's historic function must be evident even if there is a change of use.
- The location of new construction should be considered carefully in order to follow the setbacks of historic buildings and to avoid blocking their primary elevations. New construction should be placed away from or at the side or rear of historic buildings and must avoid obscuring, damaging, or destroying character-defining features of these buildings or the site.
- Protecting the historic setting and context of a property, including the degree of open space and building density, must always be considered when planning new construction on an historic site. This entails identifying the formal or informal arrangements of buildings on the site, and whether they have a distinctive urban, suburban, or rural character. For example, a historic building traditionally surrounded by open space must not be crowded with dense development.
- In properties with multiple historic buildings, the historic relationship between buildings must also be protected. Contributing buildings must not be isolated from one another by the insertion of new construction.
- As with new additions, the massing, size, scale, and architectural features of new construction on the site of a historic building must be compatible with those of the historic building. When visible and in close proximity to historic buildings, the new construction must be subordinate to these buildings. New construction should also be distinct from the old and must not attempt to replicate historic buildings elsewhere on site and to avoid creating a false sense of historic development.
- The limitations on the size, scale, and design of new construction may be less critical the farther it is located from historic buildings.
- As with additions, maximizing the advantage of existing site conditions, such as wooded areas or drops in grade, that limit visibility is highly recommended.
- Historic landscapes and significant viewsheds must be preserved. Also, significant archeological resources should be taken into account when evaluating the placement of new construction, and, as appropriate, mitigation measures should be implemented if the archeological resources will be disturbed.

KENTUCKY INDIVIDUAL BUILDING SURVEY FORM

(KHC 2011-1)

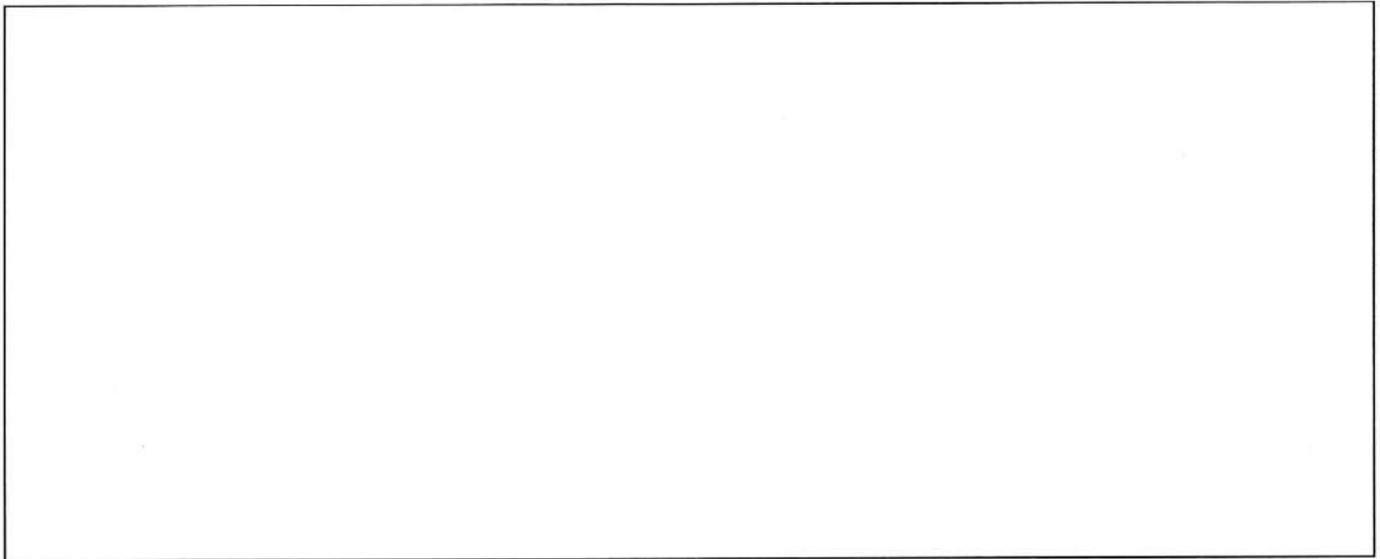
COUNTY Franklin  
 RESOURCE # FRSF-1099  
 EVALUATION N / Eligible: member of a group  
 SHPO EVALUATION \_\_\_\_\_  
 DESTROYED 2 / Fire: natural, accidental, or  
 undetermined cause

<p>1. <b>NAME OF RESOURCE (how determined):</b>                  4 / Original or later significant uses of the property                  South-Hume House (site)</p>	<p>17. <b>PLAN:</b>                  First: _____                  Second: _____</p>
<p>2. <b>ADDRESS/LOCATION:</b>                  416 Capital Avenue                  Frankfort, Kentucky</p>	<p>18. <b>STYLISTIC INFLUENCE:</b>                  First: 00: Unknown/not applicable                  Second: _____</p>
<p>3. <b>UTM REFERENCE:</b>                  Quad Name: Frankfort East Date: 1987                  Zone: 16 Method: T/ Topozone                  Easting: 686060 Northing: 4229239</p>	<p>19. <b>FOUNDATION:</b>                  Type: _____                  Material: _____</p>
<p>4. <b>OWNER/ADDRESS:</b>                  Harold &amp; Genevieve Johnson                  418 Capital Avenue                  Frankfort, KY 40601</p>	<p>20. <b>PRIMARY WALL MATERIAL:</b>                  Original: _____                  Replacement: _____</p> <p>21. <b>ROOF CONFIGURATION AND COVERING:</b>                  Configuration: _____                  Covering: _____</p>
<p>5. <b>FIELD RECORDER/AFFILIATION:</b> David L. Taylor, Taylor &amp; Taylor Associates, for the City of Frankfort</p>	<p>22. <b>CONDITION:</b>                  _____</p>
<p>6. <b>DATE RECORDED:</b> December, 2011</p>	<p>23. <b>MODIFICATION:</b> _____</p>
<p>7. <b>SPONSOR:</b> City of Frankfort</p>	<p>24. <b>ARCHITECT/BUILDER:</b></p>
<p>8. <b>INITIATION:</b> 1 / Survey and planning grant</p>	<p>25. <b>PHOTOGRAPH FILE:</b>                  FRSF-1099_01 through; FRSF-1099_03</p>
<p>9. <b>OTHER DOCUMENTATION:</b>  <input type="checkbox"/> Survey                   <input type="checkbox"/> HABS/HAER  <input type="checkbox"/> KY Land                   <input type="checkbox"/> Local Land  <input type="checkbox"/> NHL                         <input type="checkbox"/> NR</p>	<p>26. <b>WINDOWS:</b> <input type="checkbox"/> Original <input type="checkbox"/> Replacement                  Type: _____ Sash Configuration:</p>
<p>10. <b>REPORT/NR REFERENCE:</b>                  Phase III South Frankfort Survey Project</p>	
<p>11. <b>ORIGINAL PRIMARY FUNCTION:</b>                  01: Residential - A: Single Dwelling</p>	
<p>12. <b>CURRENT PRIMARY FUNCTION:</b>                  15: Parks/Lndscp./Opn. Spc. - G: Unoccupied Land</p>	
<p>13. <b>CONSTRUCTION DATE:</b> Estimated _____                  Documented:</p>	
<p>14. <b>DATE OF MAJOR ADDITIONS/MODIFICATIONS (specify):</b>                  _____                  _____</p>	
<p>15. <b>CONSTRUCTION METHOD AND MATERIAL:</b>                  Original/Primary: _____                  Subsequent/Secondary: _____</p>	<p><b>COMMENTS/HISTORICAL INFORMATION:</b>                  This is an empty and somewhat overgrown corner lot, the former site of "The Magnolias," a substantial brick-veneered house which burned (See Continuation Sheet). The house was oriented to E. Fourth Avenue. The site does retain its historic metal and stone perimeter fence and what appear to be portions of foundations. It is owned by the owner of 418 Capital Avenue, to the immediate south.</p>
<p>16. <b>DIMENSIONS:</b> Height: _____                  Width: _____ Depth: _____ Acreage: less than one acre</p>	

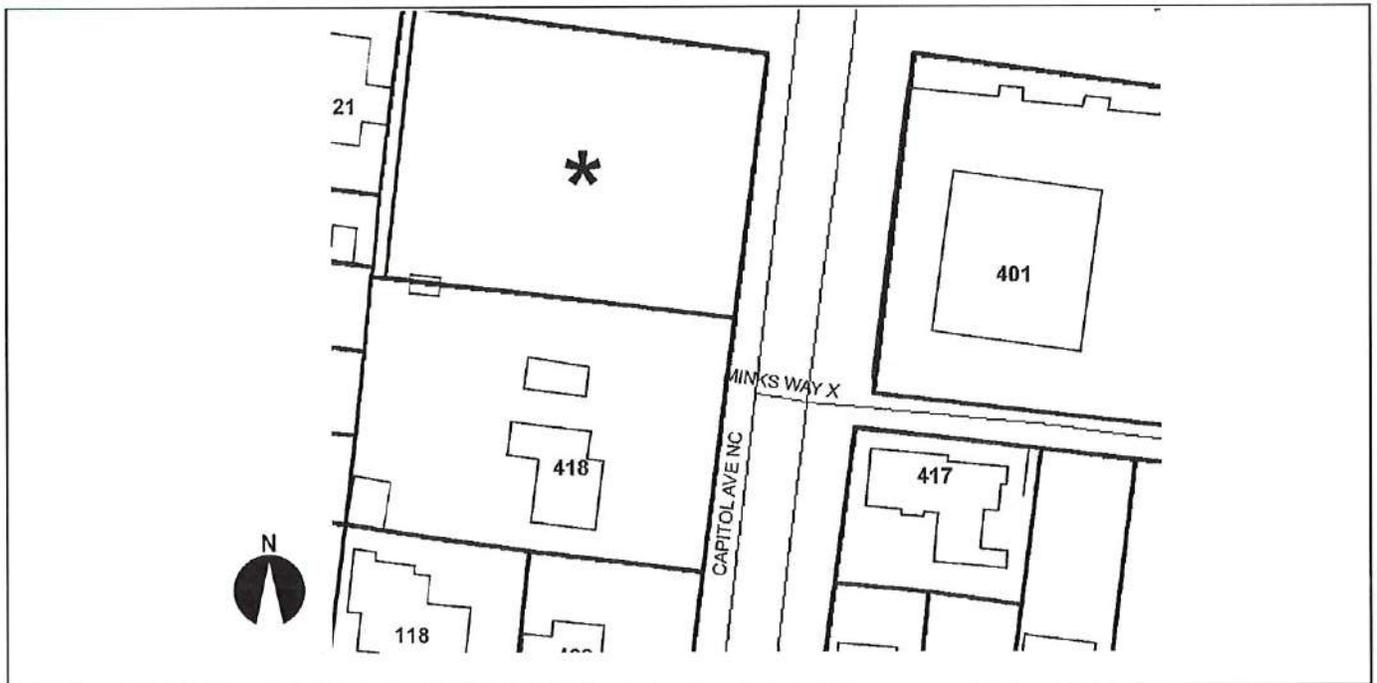
27. **SUPPORT RESOURCES:**

SITE PLAN KEY	FUNCTION	CONSTRUCTION DATE	METHOD/MATERIAL

28. **SITE PLAN** (Complete if #27 was answered or if you are using sub-numbers):



29. **MAP** (Scan or attach copy of map showing exact location of resources):



KENTUCKY INDIVIDUAL BUILDING SURVEY FORM

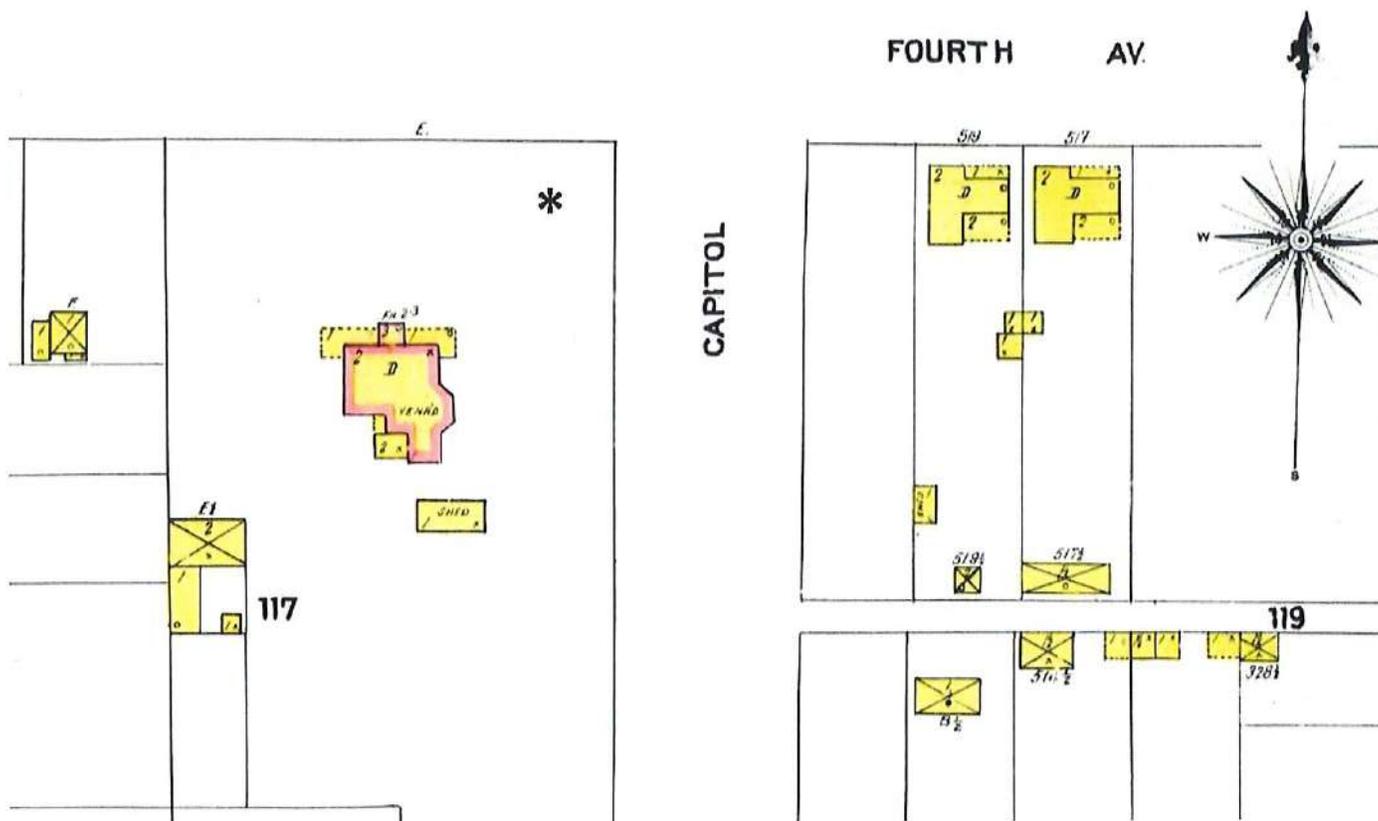
(KHC 2011-1)

CONTINUATION SHEET

Phase III, South Frankfort Survey, 2011-2012

Address: 416 Capital Avenue, Frankfort

Resource No. FRSF-1099



This segment from the 1907 *Sanborn Fire Insurance Map* depicts the scale and form of the house formerly located on this site, shown by the superimposed black asterisk [Kentuckiana Digital Library]

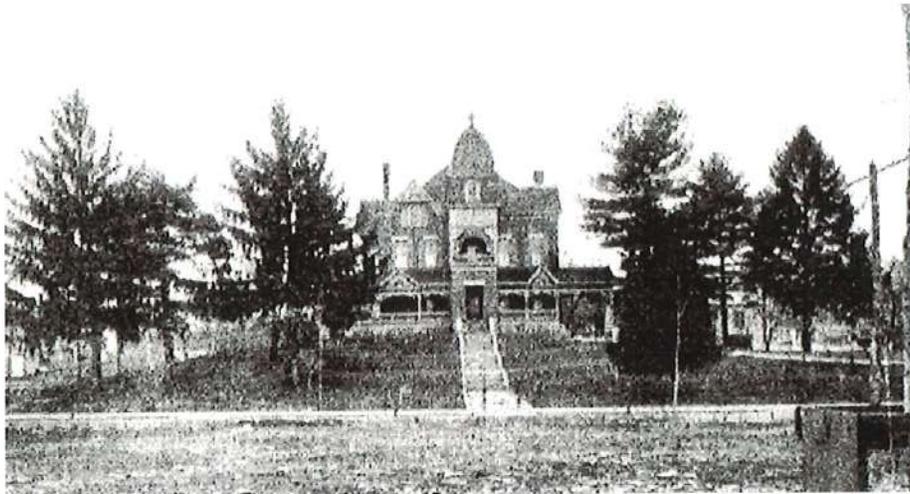
KENTUCKY INDIVIDUAL BUILDING SURVEY FORM

(KHC 2011-1)  
CONTINUATION SHEET

Phase III, South Frankfort Survey, 2011-2012

Address: 416 Capital Avenue, Frankfort

Resource No. FRSF-1099



"The Magnolias," the South-Hume house, which occupied this lot until destroyed in a 1912 fire. The lot has been empty ever since. [Capital City Museum]

26. COMMENTS/HISTORICAL INFORMATION, *continued*

"The Magnolias" was built by Col. Samuel South (c. 1834-1889). His daughter, Mary, became the wife of prominent Frankfort physician E. Hume, who was at Gov. William Goebel's side when he died from an assassin's bullet. Hume inherited the house through his wife when Samuel South died in 1889 and remained here until his death in 1911, one year before the house burned to the ground.

Sam South obituary, 1889: A Prominent and Wealthy Citizen of Frankfort Expires

Frankfort, Ky, Jan 22 – Col. Sam South, oldest son of Col. Jere South, deceased, who was once a powerful Frankfort State penitentiary warden and a political power in the state, died at his residence in this county today. Col. South was about 55 years of age, and, as a partner with his father in the penitentiary lease, acquired an extensive acquaintance, as well as a considerable fortune, during the course of his life. He was a private soldier in the Confederate Army, and participated in nearly all if not all, the engagements of the Orphan Brigade, to which command he belonged. At the battle of Chickamauga, he was wounded and left on the field with the dead and dying, when a Federal soldier chanced to see him and succor him in his suffering. Long after the war, Col. South availed himself of the opportunity to show his gratitude in a substantial mark of friendship to his then needy benefactor. He leaves four grown children, among who is the wife of Dr. E.E. Hume well-known physician of the city. The deceased, in addition to his large relationship with the State, has a wide circle of friends which the virtues of his character riveted to him, who will be deeply pained to learn of his death.

KENTUCKY INDIVIDUAL BUILDING SURVEY FORM

(KHC 2011-1)  
CONTINUATION SHEET

Phase III, South Frankfort Survey, 2011-2012

**Address:** 416 Capital Avenue, Frankfort

**Resource No.** FRSF-1099

A biography of E. E. Hume from an 1898 periodical.

The subject of this sketch was born in Trimble County, Ky. His father, the late Lewis Hume, was a native of Fauquier County, Virginia, but came to Kentucky in early youth. He married Myra McGee, eldest daughter of E. K. McGee, of Spencer county, and Edgar E. Hume was the eldest of their three children—two sons and a daughter.

Dr. Hume began the study of medicine in early youth, many of his family having been of that profession. Soon after attaining his majority he was graduated from the Medical Department of the Louisville University. He subsequently took a course of lectures at the College of Physicians and Surgeons, of New York, and also a course at the University of New York. Later he received the Ad Eundem degree from the Bellevue Hospital Medical College of New York.

Soon after graduating he located in Anderson County, Ky., and after several years was joined by his brother, the late Dr. Lewis Hume, and the two enjoyed a large and lucrative practice. During his residence often years in that county Dr. Hume served one term in the lower House of the Kentucky Legislature. This was the session of 1875-76, and Dr. Hume was an ardent supporter of James B. Beck for United States Senator. In 1880 he removed to the city of Frankfort, since which time he has enjoyed a practice inferior to none in Central Kentucky. Dr. Hume is Chief Surgeon of the Frankfort & Cincinnati Railway, and Local Surgeon of the L. & N. R. R. He is also President of the local board of United States examining surgeons. He served as Frankfort mayor and attended Governor William Goebel after he was wounded and eventually died in 1900.

From the Capitol City Museum

ARCHITECTURAL REVIEW BOARD

June 16, 2020

5:00 PM

PATTI CROSS, PRESIDING

Members Present:

Irma Johnson  
Jennifer Oberlin  
Patti Cross  
Nicole Konkol

Also Present:

Edwin Logan, Attorney  
Jordan Miller, City of Frankfort Senior Planner – Planning and Community Development

The first item of business was the approval of the minutes of the April 21, 2020 meeting. Ms. Konkol made a motion to approve the minutes. The motion was seconded by Mr. Oberlin and all were in favor.

Chair Cross asked the Secretary to introduce the next item of business.

**In accordance with Articles 4 and 16 of the City of Frankfort Zoning Ordinance, Jermaine Green is requesting a Certificate of Appropriateness to replace the existing metal windows with fiberglass window for the property located at 411 West Campbell Street. The property is more particularly described as PVA Map Number 062-13-06-022.00**

Jordan Miller, City of Frankfort Senior Planner was present and mentioned that this property is located in the Special Capital District and is an interesting house. He stated that while the existing windows are original they are beyond the point of repair. Mr. Miller stated that the applicant wants to replace the metal windows with fiberglass windows.

Mr. Miller explained that fiberglass windows are stronger, have a longer life and are more eco-friendly. Mr. Miller stated that the applicant did look into other options but chose fiberglass. Mr. Miller stated that composite fiberglass windows are superior to vinyl windows and several historic communities permit them. Staff recommended approval with conditions.

Ms. Johnson mentioned that she noticed that fiberglass tends to respond heavily to UV rays and explained that she is working with a property and it tends to get real cloudy and asked if that is because it is an older fiberglass. Mr. Miller replied that fiberglass is a better option than vinyl and that he recommended in the report that the replacement windows shall match the existing windows in style, design, color and functionality.

Ms. Oberlin asked if they were replacing all of the windows and Mr. Miller replied that he believes they are.

The applicant Jermaine Greene was present and stated that yes they will be replacing most if not all of the windows.

Mr. Greene stated that they are very aware of the architectural design of the house and any improvements they would make would be in keeping with that. He stated that they had a picture of the house when it was first built by the original owner hanging in their hallway. Mr. Greene stated that anything they do will be to try to maintain it and get it back its original design with modern efficiencies.

Mr. Greene stated that he has researched the windows and if granted approval he will use a Marvin brand window which is the best on the market.

Vonda Greene stated that the reason they want to replace the windows is because they are cracked. She stated that she has done some research on the windows and the Marvin brand does not fade like some of the other brands. Ms. Greene stated that the replacement windows should last about twenty years.

Ms. Cross asked if they reviewed the staff report and if they agreed with the recommendations from staff. Mr. Greene replied yes they had reviewed the staff report and agreed with the recommendations.

Ms. Johnson made a motion in accordance with Articles 4 and 16 of the City of Frankfort Zoning Ordinance, to approve the request from Jermaine Green for a Certificate of Appropriateness to replace the existing metal windows with fiberglass window for the property located at 411 West Campbell Street with the following conditions:

1. A building permit shall be obtained prior to work commencing on the proposed project.
2. Any additional projects requiring a building permit shall require review and approval by the Architectural Review Board unless a Certificate of No Exterior Effect is issued.
3. Window openings shall not be enlarged nor reduced.
4. The replacement windows shall match the existing windows in style, design, color and functionality.

The motion was seconded by Ms. Konkol and passed unanimously.

Chair Cross asked the Secretary to introduce the next item of business.

**In accordance with Articles 4 and 16 of the City of Frankfort Zoning Ordinance, Jen Spangler-Williamson d/b/a Spangler Williamson A+E on behalf of Greg & Jen Miklavic, is requesting a Certificate of Appropriateness in order to modify the front porch for the property located at 321 Ewing Street. The property is more particularly identified as PVA Map Number 062-13-0-026.00.**

Jordan Miller, City of Frankfort Senior Planner was present and pulled up an image and Jen Spangler-Williamson explained that this is a three page PDF file that they submitted to staff today with late changes to the design of the porch that varies from the images they have in the staff report.

Ms. Spangler explained that there has been some reconsideration of the roof line of the porch. She stated that it is the same dimensions and plan but rather than having the hipped roof they are looking at doing a gabled roof. She explained that the replacement porch would only be on the left portion of the façade. She stated that it is a small stoop that would allow for protection of the owner as they are entering an existing the home. She showed slides of the new design from each direction. Additionally they plan to have a new front door with side lites. Ms. Spangler stated that they had located a transom and evidence of a different door.

Ms. Spangler stated that in addition to the front porch work they are proposing to recreate a bay window on the north side of the house. She stated that when they removed the aluminum siding there was evidence that a bay window had previously existed in this location.

Mr. Miller stated that even with the minor change to the gabled roof of the front porch staff recommends approval of this modification.

Mr. Logan asked if staff received comments that were negative to this proposal upon submission. Mr. Miller stated that they received a comment from an adjoining property owner who was in support. Mr. Logan cautioned that making changes the day of the hearing is not necessarily a good practice for giving notice to the public.

Ms. Oberlin asked if they could consider approving the bay window which was not part of the staff report they received. Her understanding was that they were only considering the porch area as advertised and included in the staff report. Mr. Logan replied that the report deals with only one item and they are now trying to add another item. Mr. Logan stated that in his opinion this could cause an issue where someone didn't get notice and they might have made a comment given the opportunity.

Ms. Cross mentioned that they only advertised the porch and wondered if they should table the bay and door issues and only consider the porch. Mr. Logan stated that legally they could consider the changes to the door because they were minor as a part of the porch but that they never advertised anything about the bay window.

Ms. Konkol made a motion to table the bay window discussion. The motion was seconded by Ms. Oberlin and all were in favor.

Ms. Spangler had a question regarding the first recommendation of approval "that a building permit shall be required". She stated that they are currently working with a building permit and stated that she assumed in this case the building permit shall be amended. Mr. Miller replied yes it would just be an amended permit.

Ms. Konkol made a motion in accordance with Articles 4 and 16 of the City of Frankfort Zoning Ordinance, to approve the request from Jen Spangler-Williamson d/b/a Spangler Williamson A+E on behalf of Greg & Jen Miklavic, for a Certificate of Appropriateness in order to modify the front porch to the gable style roof that was submitted today for the property located at 321 Ewing Street with the following conditions:

1. The building permit shall be amended prior to work commencing on the project.
2. Any additional projects requiring a building permit shall require review and approval by the Architectural Review Board unless a Certificate of No Exterior Effect is issued.
3. All exterior work conducted as part of this approval shall conform to the design and drawings contained within this report.

The motion was seconded by Ms. Oberlin and passed unanimously.

Chair Cross asked the Secretary to introduce the next item of business.

**In accordance with Articles 4 and 16 of the City of Frankfort Zoning Ordinance, John Clark is requesting a Certificate of Appropriateness to construct a new single-family dwelling for the property located at 416 Capital Avenue. The property is more particularly identified as PVA Map Number 062-31-06-004.00**

Jordan Miller, City of Frankfort Senior Planner was present and mentioned that this item had previously come through the Board to construct a new home but the owner changed their mind and decided to sell. Mr. Miller explained that the applicant is under contract to purchase the lot.

Mr. Miller stated that staff has approached this in a different way as to how the style of the house is constructed. Mr. Miller explained that these are not the actual final design plans noting that the applicant has stated that the design company will not begin design, engineering, and architectural processes without a large deposit, therefore the final drawings cannot be submitted at this time. The applicant is looking for a preliminary approval of the design before moving forward with the final plans and file review by the Board at a future meeting.

Mr. Miller explained that he wanted to address the pitch of the roof, he stated that it is noted that it is a 3/12 pitch which is not the pitch depicted in the photos that have been provided. What they are proposing is a much lower sloped roof and it is about as low as you can go with and still allow asphalt shingles to efficiently shed water. Staff would recommend that it have a higher pitch.

Mr. Miller also explained that staff would recommend a rendering be produced of the final proposal in the context of the lot to give us a better idea of what it would look like in the surrounding setting.

Mr. Miller stated that as far as materials they are proposing staff is in support of the wood windows, half-round gutters and downspouts. Mr. Miller stated that staff is recommending that the cement board siding be installed horizontally. Additionally staff would recommend that the deck be painted and concerning the 3'-4' overhang staff would recommend that the deck completely cover the porch. Mr. Miller mentioned that the wing closest to Capital Avenue is shown as a two-story but in the drawings it appears to be one-story. Mr. Miller stated that those are the items that staff would like to see flushed out.

Mr. Miller replied to Ms. Konkol's previously asked questions.

1. Were or are there any octagonal houses similar to this style within this district? The response was no.
2. Does this house style exist commonly within this part of Kentucky? The response was no.
3. Was it common during the Period of Significance of this district (1833-1925)? The response was no.
4. The location of the structure will "somewhat" follow the setbacks of the previous structure..." What does "somewhat" mean? Mr. Miller's response was that he believes it will have a smaller footprint, meaning that it won't have the exact same footprint and they will excavate the rest of the materials to fit in aesthetically with their landscape improvements.

Ms. Cross mentioned that one of the comments they received was regarding the steps that come up to Fourth Street. She stated that was something she was thinking about as well. She believes those are important and should be kept. Mr. Miller replied that he believes that is there intent noting that looking through the photographs some of them are in a state of disrepair and may need to be repaired. Mr. Miller stated that he would recommend that they stay there and be repaired in kind.

Ms. Oberlin mentioned that it was her understanding that the orientation of the front door would need to align with the original front door that was previously there. She stated that she didn't gather from the materials received that it would be the case. Mr. Miller replied that it will be oriented towards West Fourth Street.

Ms. Oberlin asked for clarification that the side with the deck would be oriented towards Fourth and the wings would be oriented towards Capital Avenue. Mr. Miller replied that is correct. Ms. Oberlin asked if the wing would be two-stories and Mr. Miller replied yes that is correct.

Mr. Miller stated that he recommended approval with conditions that this in no way is approval of a building permit and that it is conditioned on coming back to the Board.

Ms. Konkol asked how much ground leveling would have to be done in order to complete the project especially at the top of the hill. Mr. Miller replied that he wasn't exactly sure and hopes that the applicant will be able to address that.

The applicant John Clark was present and stated that in regards to the steps they go up to a higher pitch and with regards to their small children they want to take out the original and install something that is similar in style, safer, more modern and up to code. Ms. Clark stated that the steps are in a state of disrepair.

Mr. Clark mentioned that the leveling and stated that they want to take a foot or two off because of the way the basin is caved in. He stated that as far as the house foundation and how it is oriented it would maintain the same level as the original house.

Ms. Cross asked if they agreed with the recommendations from staff and Mr. Clark replied yes.

Ms. Johnson asked how they came up with this design. Ms. Clark replied that she went to Berea College and she learned about Deltec while studying there and it has been a dream of hers to build a sustainable home. Mr. Clark stated that he thinks the lot lends itself to this style house.

Ms. Oberlin stated that she is gung hoe for sustainability and the design of the house is amazing but she has sincere reservations about the houses orientation to the significance of other historic structures.

Mr. Konkol stated that it is difficult for her to feel comfortable moving forward without a more detailed plan. Ms. Cross stated that she believes that we will have actual plans before construction begins this is just to see if we are okay with the concept. Mr. Miller replied that is correct.

Mr. Clark stated that in order to proceed with Deltec and obtain the detailed drawings they have a lot of requirements and stipulations to meet as well as a nominal fee to pay and they are trying to avoid paying that fee for no reason. He stated that if they couldn't approve the preliminary there would be no reason to have the plans but they fully intend to flush out all of the details. Mr. Clark stated that they went into this knowing that this is not a hard approval and that moving forward they will have to continue to work with the Board to understand the full scope of work.

Ms. Cross stated that is exciting that a lot that has been vacant since 1912 could have a structure on it. She stated that the process is different in that they aren't looking at a lot with an existing house but rather new construction and she is excited to see where this goes. She hopes that they will be able to utilize the steps and she thinks it is exciting and will look amazing. She agreed with the horizontal non wood grain siding and with a higher pitched roof.

Ms. Konkol asked if we had any idea how this project will progress. Mr. Miller replied that he would work with the applicant to get those drawings based on what has been recommended then bring it back to the Board when the final drawings are prepared. He stated if they come back and the Board is still not satisfied they could table it and come back with other options.

Ms. Johnson made a motion in accordance with Articles 4 and 16 of the City of Frankfort Zoning Ordinance, to approve the request from John Clark for a Certificate of Appropriateness to construct a new single-family dwelling for the property located at 416 Capital Avenue with the following conditions:

1. This approval is preliminary and for the general design, shape, and siting of the proposed structure.
2. The applicant shall present final drawings and design plans to the Board after they have been completed by the architect.
3. No building permit shall be issued nor any construction begin stemming from this approval until the final design has been presented to and approved by this Board.

The motion was seconded by Ms. Konkol and passed with Ms. Konkol, Ms. Johnson and Ms. Cross voting in favor. Ms. Oberlin was opposed.

There being no other business, Ms. Oberlin made a motion to adjourn. The motion was seconded by Ms. Johnson and all were in favor. The meeting adjourned at 6:05 pm.

217-219 Saint Clair Street  
Central Business Historic District

John Sower, Owner/Applicant

Request

In accordance with Articles 4, 16, and 17 of the City of Frankfort Zoning Ordinance, John Sower is requesting a Certificate of Appropriateness in order to install new exterior features on the east elevation for the conversion of the second and third floors to apartments for the property located at 217-219 St Clair Street. The property is more particularly identified as PVA Map Number 061-24-14-008.00.

Scope of Work

- New wood glazed door and stained treated wood canopy roofed in painted corrugated sheet metal at the ground level entrance from the east (Lewis Street) parking area
- New second and third floor wood framed stair enclosure behind and the south (left) of the existing brick elevator tower as seen from Lewis Street
  - Enclosure will be clad in painted corrugated sheet metal, with two single hung wood windows,
- 16' x 32' stained treated wood deck at the third floor to the north (right) of the brick elevator tower and accessible from the stair enclosure. The deck railing will be clad in painted corrugated sheet metal to match the other new features

Significance of Structure

The subject property features a contributing structure to the Central Frankfort National Historic District.

Guidelines - Central Business Zoning District

3.1 NEW CONSTRUCTION

DESIGN PRINCIPLE: Over time, historic districts may evolve through new construction (additions and infill) designed to improve the functionality of an existing building, infill a vacant lot, or replace an existing building due to the loss of existing buildings through fire, weather events, or demolition. Careful consideration must be made in both cases as the introduction of substantial additions and new buildings into the district has the potential to negatively impact the fabric of the streetscape if not carefully planned for and designed. Where new construction is pursued, it should be designed in discussion with the Architectural Review Board to ensure that it respects the historic design integrity of the district and is compatible with existing architecture in setback, massing, scale, materiality, and articulation. With proper planning—which starts with an understanding of how a property fits into the larger landscape of the area and is perceived from the public right-of-way—new construction can both meet the needs of the property owner and be appropriately compatible with the character of the district.

3.1.1 LOCATE ADDITIONS WITH RESPECT TO THE HISTORIC STREETScape AND BUILDING

A. The rear elevation provides the most appropriate location for an addition in the commercial district.

*Staff finding: Positive. The stair enclosure adjacent to the elevator tower is proposed to be constructed on the rear elevation of the building.*

C. Additions should be attached so that they can be removed in the future, if so desired, without causing damage to the character defining features of the original building. Reversibility is important.

*Staff finding: Positive. The wood framed stair enclosure could be removed in the future without causing damage to any character-defining features at this location.*

D. Additions shall be designed and located so that they do not impact historic character defining features of the original building.

*Staff finding: Positive. The addition of the stair enclosure will not negatively impact character defining features.*

E. Additions shall be designed so that they are compatible with the size, scale, setback, and massing of the original building.

*Staff finding: Positive. The size, scale, setback, and massing of the proposed enclosure, deck, and canopy are appropriate for this building.*

F. Additions shall be designed so that they are subordinate to the height and volume of the primary mass as visible from the street.

*Staff finding: Positive. The stair enclosure will be subordinate to the height and volume of the primary mass as visible from the street. It will be shorter in height than the existing structure and reflects the existing massing of the adjacent elevator tower.*

G. Large unbroken expanses of wall surface along the public street are out of character with the district and are not appropriate. Additions that front the street shall feature articulation and window and door openings that maintain the character of the streetscape.

*Staff finding: Positive. The stair enclosure will feature single hung wood windows that provide fenestration that reflect the existing rear façade.*

H. Additions shall be designed with reference to the roof shape, pitch, and complexity of the original building.

*Staff finding: Positive. The stair enclosure will have the same roof shape, pitch, and complexity of the original building.*

I. Additions shall be designed so that they are compatible with the character of the primary mass but so that they stand as a product of their own time. Subtle changes in material and architectural details are appropriate means for distinguishing additions from the original building.

*Staff finding: Positive. The stair enclosure will stand out as a product of its own time by featuring a sheet metal exterior covering that is different from the existing brick and reflects the existing sheet metal currently found on the building.*

J. Simplified details that reference the character of the original building are appropriate.

*Staff finding: Positive. The stair enclosure's simple shape and size reflects the existing elevator tower, while the incorporation of metal on the wood canopy and deck reflect materials on the existing structure. The use of this material on these three items will help to define them as a product of their own time as well.*

K. Door and window openings that conform to the proportion, size, and rhythm of those on the original building shall be used.

*Staff finding: Positive. The stair enclosure will feature single hung wood windows that provide fenestration reflecting the proportion, size, and rhythm of those on the original building*

### 3.1.4 INCORPORATE FEATURES THAT FALL WITHIN THE RHYTHM AND ARTICULATION OF EXISTING FEATURES

D. Designs that echo or reinterpret historic precedents are appropriate. However, replication of historic designs creates a false sense of history and shall be avoided.

*Staff finding: Positive. The proposal will not replicate historic designs that create a false sense of history.*

E. Window and door openings shall be compatible with those on surrounding buildings in placement, spacing, scale, proportion, and size. New construction shall not include blank walls or prominent elevations with singular openings.

*Staff finding: Positive. The stair enclosure will feature single hung wood windows that provide fenestration reflecting the proportion, size, and rhythm of those on the original building*

### 3.1.5 EMPLOY TRADITIONAL MATERIALS OR ALTERNATIVE MATERIALS THAT ARE COMPATIBLE TO THOSE FOUND WITHIN THE AREA

A. Materials that are compatible in scale, profile, texture, and finish to those already existing in the area shall be used.

*Staff finding: Positive. The proposed sheet metal is compatible with existing materials on the building and is also used in the district to some extent, but primarily as a roofing material.*

B. Materials and textures that are compatible with the surrounding area, promote a sense of human scale, and have proven durability shall be used.

*Staff finding: Positive. The metal and wood framing of the proposed stair enclosure and deck are durable materials.*

F. Finishes shall be compatible with the character of the district. Unfinished and reflective materials are prohibited.

*Staff finding: Positive. The metal will be painted and will not be reflective.*



## CONSIDERATIONS WHEN PLANNING AN ADDITION TO A HISTORIC BUILDING

When evaluating the appropriateness of planning for the construction of an addition to a historic building, it is important to consider factors similar to those that will be evaluated by the ARB as part of the design review process. Questions that the ARB may consider include:

- How visible will the addition be from the public right-of-way?
- Does the addition diminish one's ability to interpret the character and age of the original building?
- Does the addition disrupt one's perception of adjacent properties and the larger streetscape?
- Does the addition require significant alterations to the original building or removal of character-defining features?
- Does the addition require significant structural changes to the original building?
- Is the addition subordinate to the original building?
- Is the addition of a simple design that is compatible with the original building?
- Is the addition of high-quality design and materials?
- Could the addition be removed in the future without causing irreversible damage to the original building?



## APPLYING THE GUIDELINES FOR NEW CONSTRUCTION

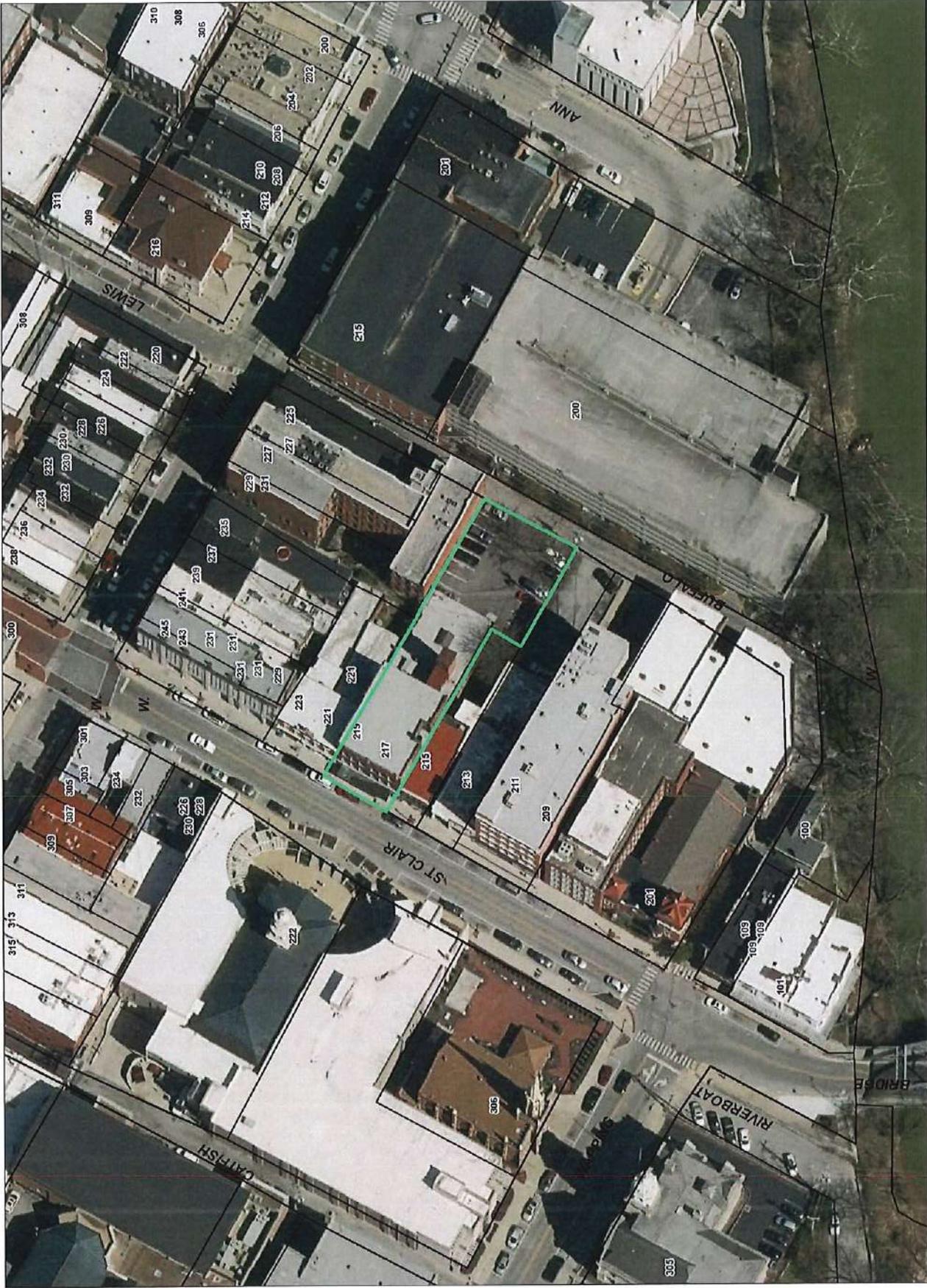
The guidelines are not intended to define a specific style or set of features required for new buildings. Rather, they are intended to promote an understanding of the general characteristics that are important to consider in designing a new building so that it is compatible with established precedents. The goal is to promote high-quality design that enhance the architectural character of the area, not detract from the unifying features of the commercial district. The following may be considered by the ARB when reviewing proposed new construction:

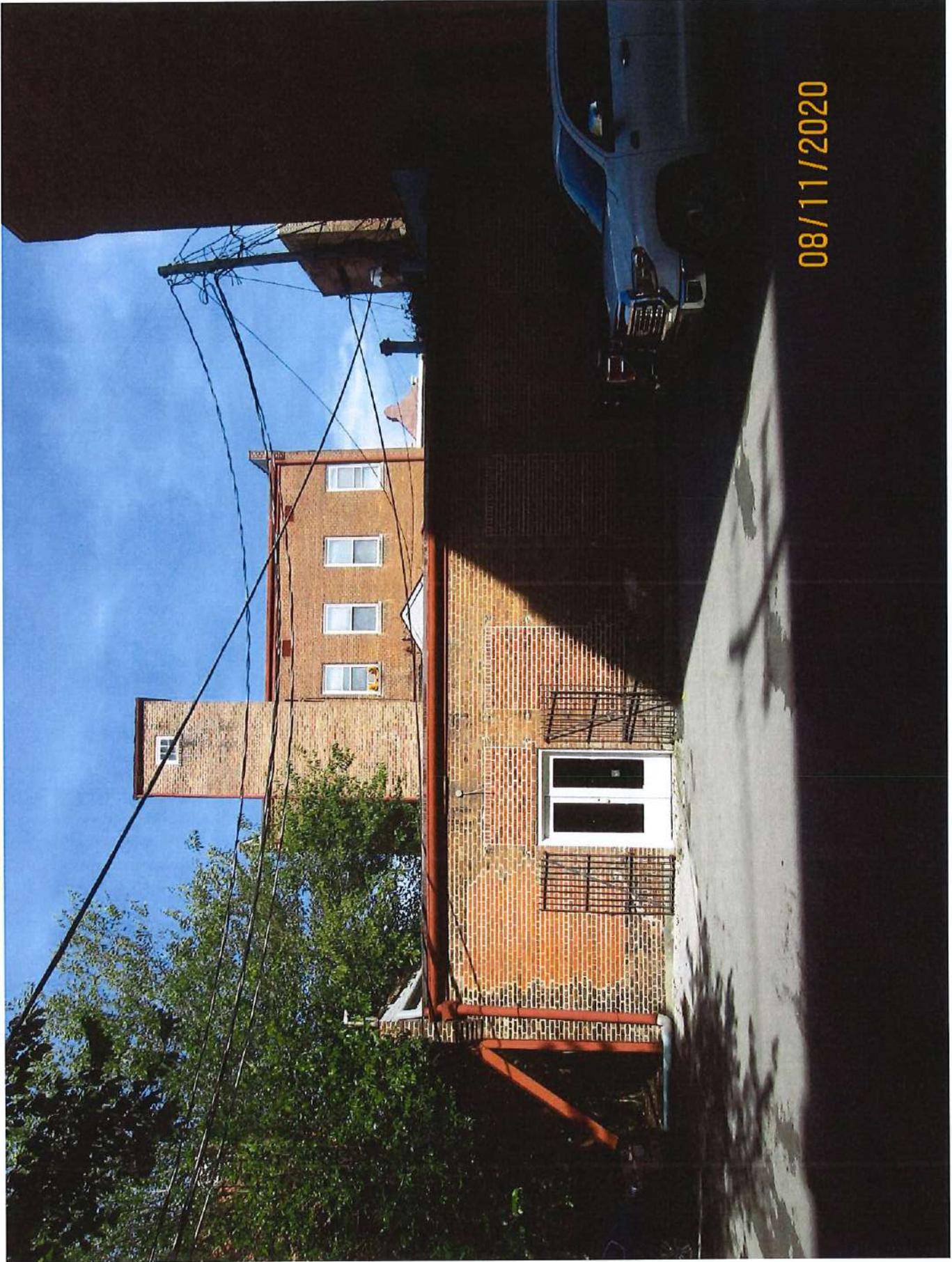
- Does the building fall within the established rhythm along the street?
- Is the entrance oriented to the street?
- Does the building's massing fall within the established range of the district?
- Does the façade incorporate pedestrian-scaled features?
- Is the ratio of solid wall to openings—particularly on the façade—consistent with that of surrounding buildings?
- Is the complexity of the building appropriate within its context?
- Is the façade appropriately articulated?
- Are materials of an appropriate scale?
- Does the building refrain from duplicating historic features yet incorporate details that promote visual interest?

### Recommendations

Staff recommends approval of the Certificate of Appropriateness with the following conditions.

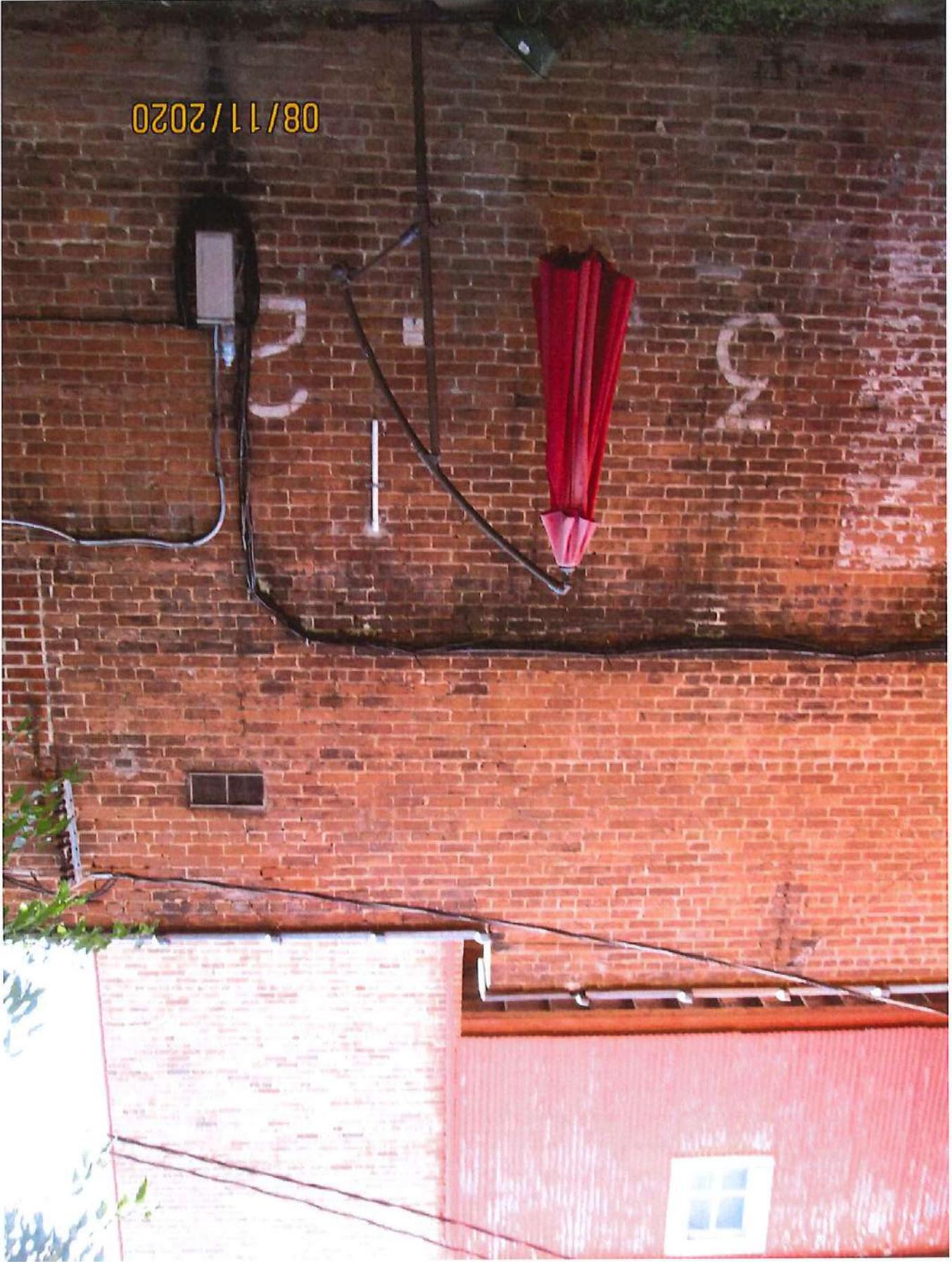
1. A building permit shall be obtained prior to work commencing on the proposed project.
2. Any additional projects requiring a building permit or modifications to this proposal shall require review and approval by the Architectural Review Board unless a Certificate of No Exterior Effect is issued.
3. The construction of this request shall conform to the design and drawings found within this report.

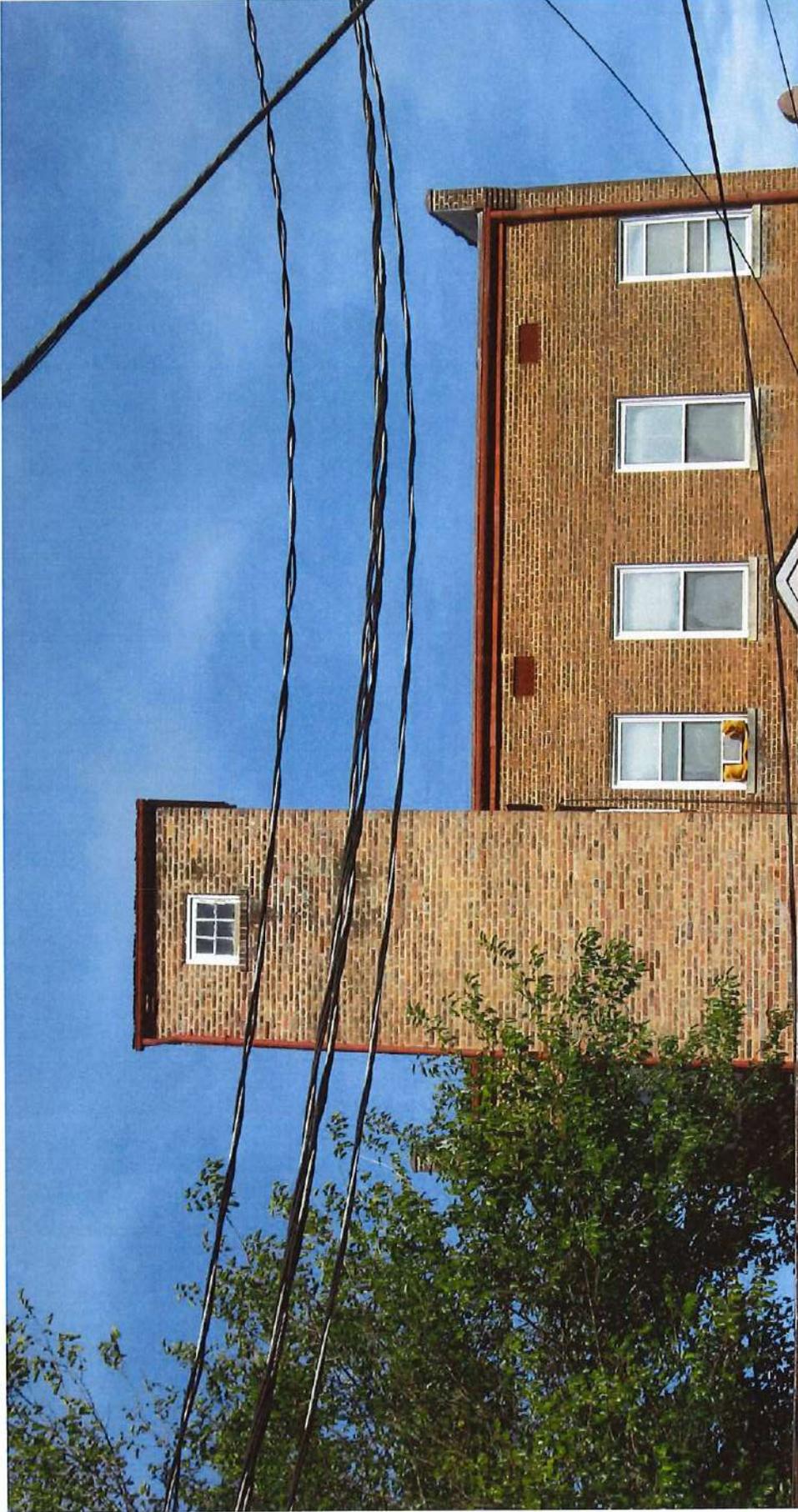














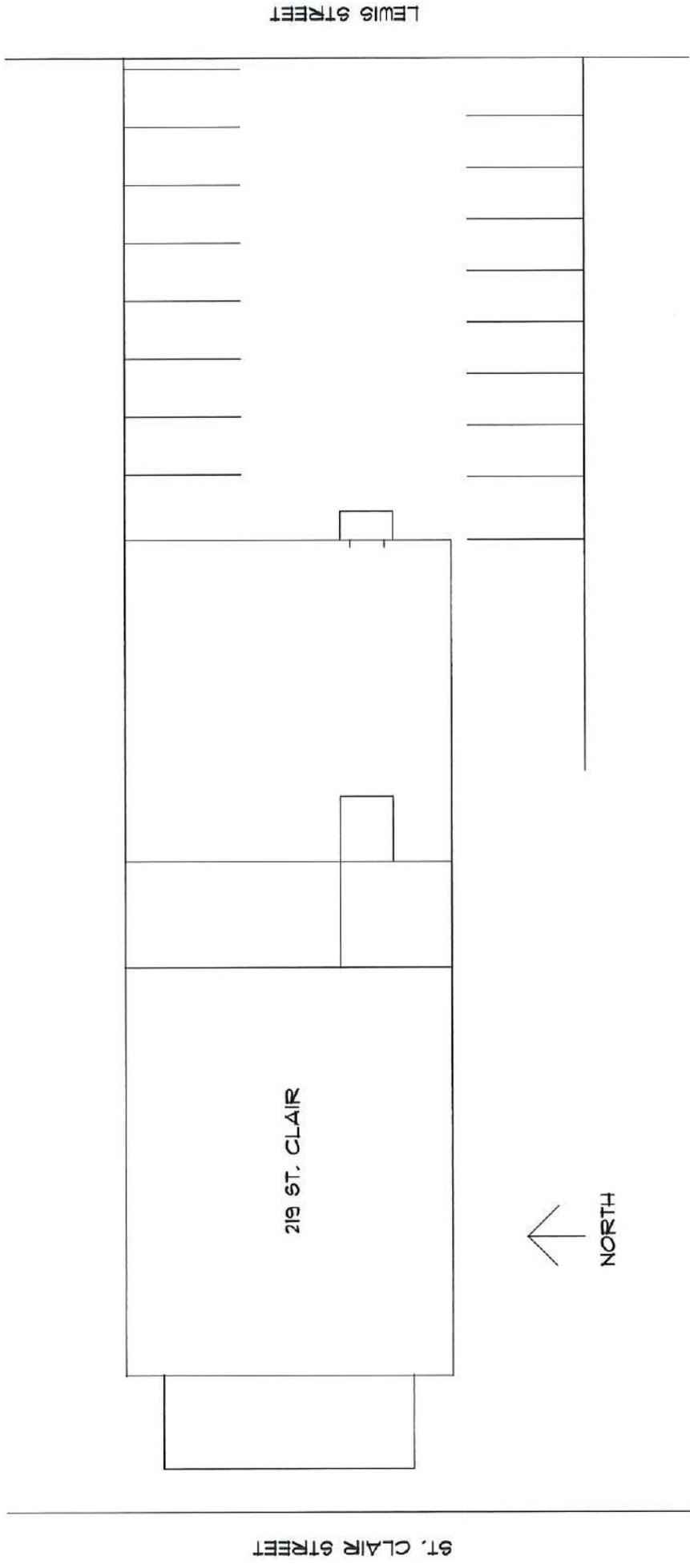
To the Board:

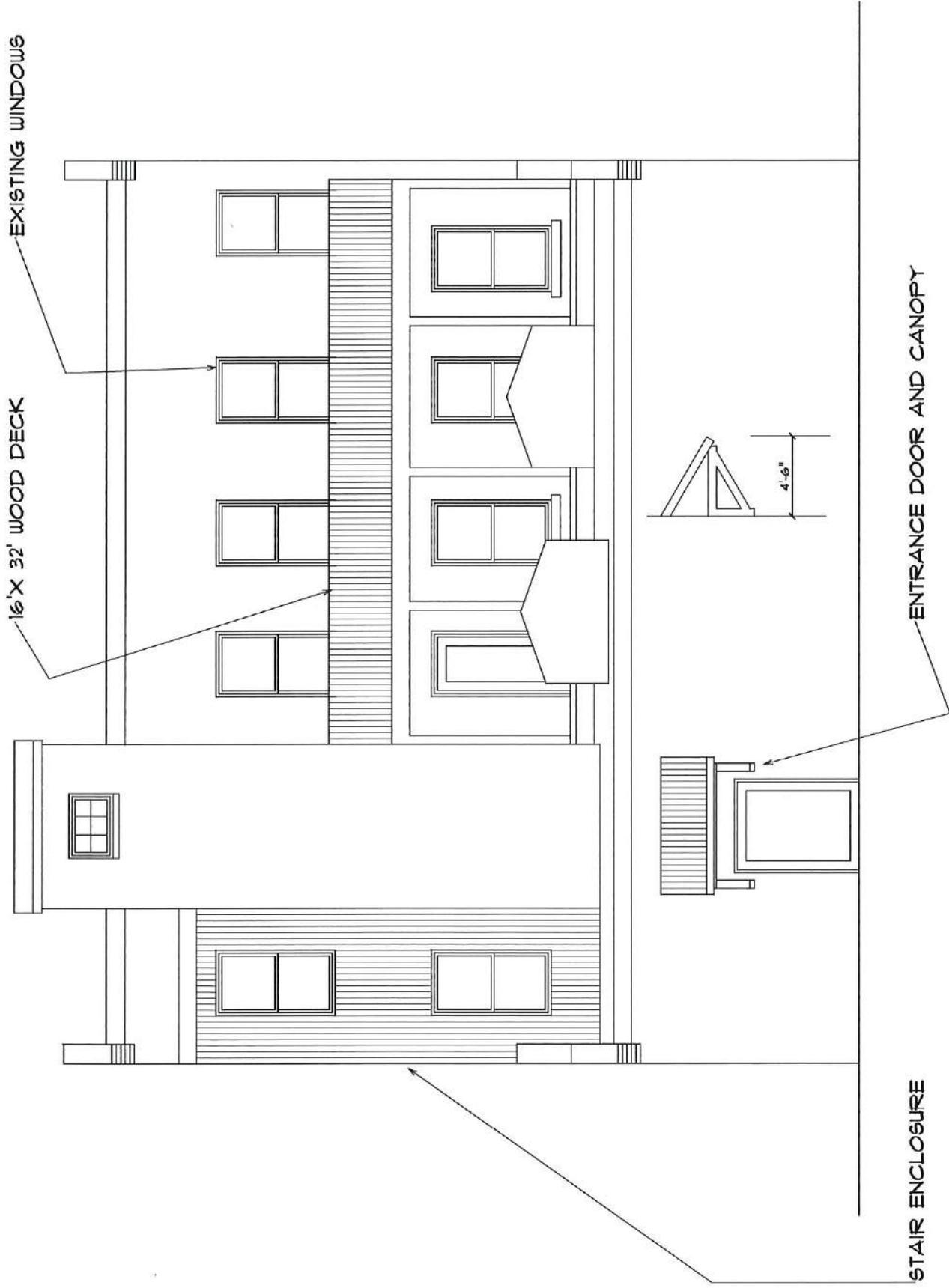
In connection with conversion of the second and third floors of the Sower Building, 219 St. Clair into apartments we are proposing the following exterior renovations:

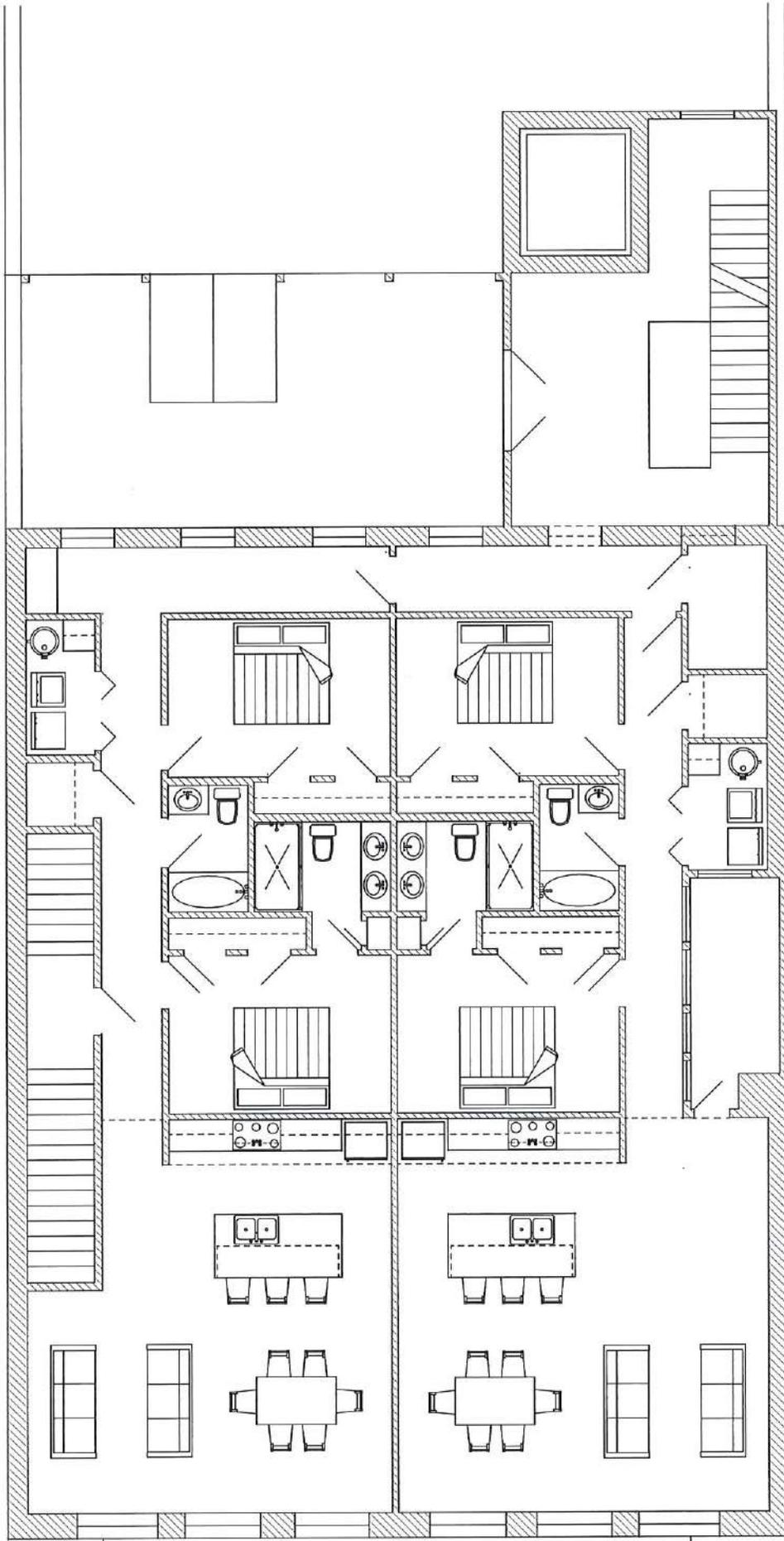
- (1) A new glazed wood door and stained treated wood canopy roofed in painted corrugated sheet metal at the ground level entrance from the east (Lewis Street) parking area.
- (2) A new second and third floor wood framed stair enclosure behind and to the south (left) of the existing brick elevator tower as seen from Lewis Street. The enclosure will be clad in painted corrugated sheet metal, with two single hung wood windows.
- (3) A 16'x32' stained treated wood deck at the third floor to the north (right) of the brick elevator tower and accessible from the stair enclosure. The deck railing will be clad in painted corrugated sheet metal to match the other new features.

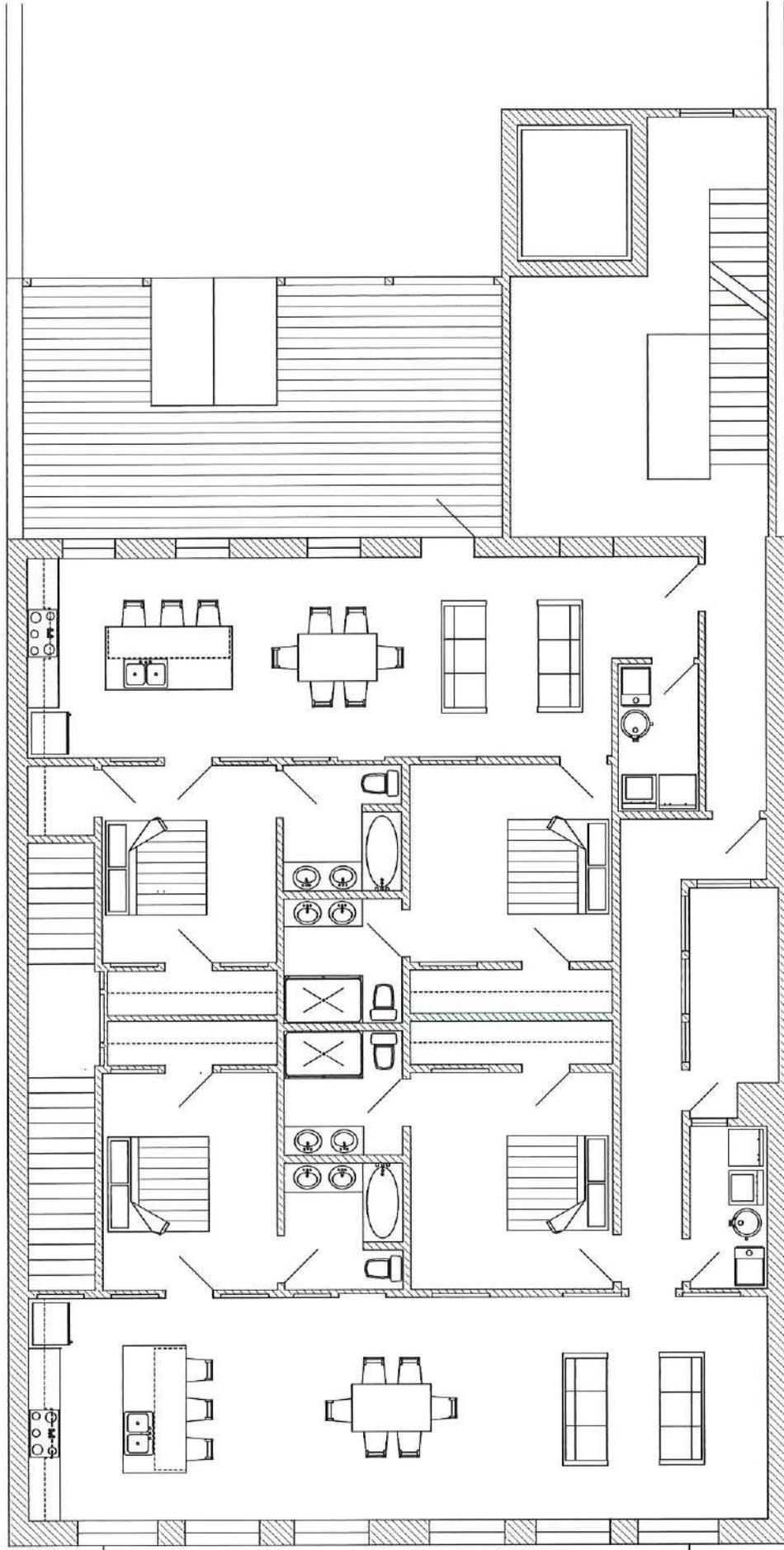
We hope this work meets with your approval.

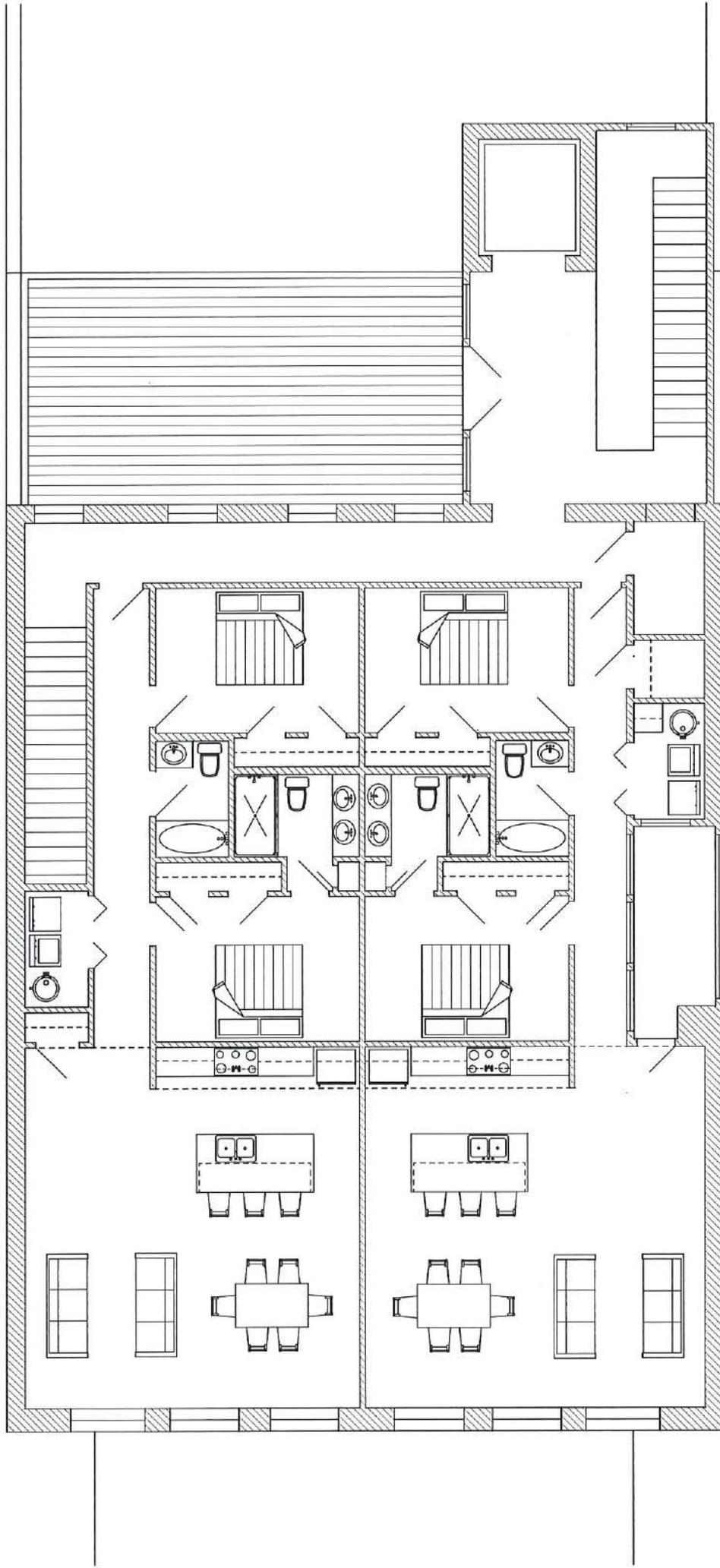
Jeff Raine, Architect

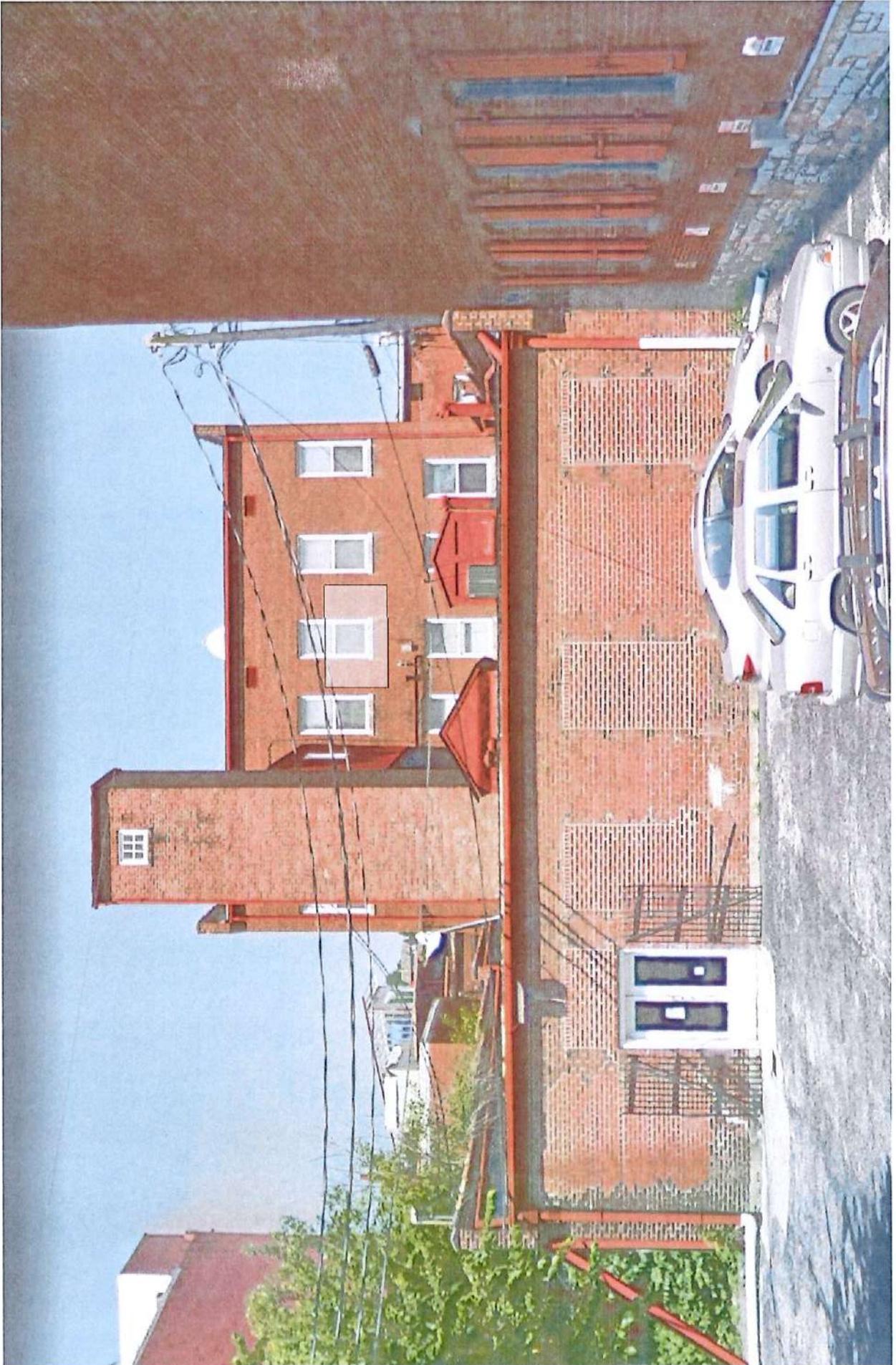












KENTUCKY INDIVIDUAL BUILDINGS SURVEY FORM

(KHC 2007-1)

COUNTY FRANKLIN  
 RESOURCE # FRFB-13  
 EVALUATION N  
 SHPO EVALUATION \_\_\_\_\_  
 DESTROYED \_\_\_\_\_

1. NAME OF RESOURCE (how determined): 9 /  
Sower Building

19. FOUNDATION:  
 TYPE MATERIAL  
2 / Continuous 0 / Unknown period 1  
 / / / / period 2

2. ADDRESS/LOCATION:  
217-219 St. Clair Street, Frankfort, KY

20. PRIMARY WALL MATERIAL:  
E / Brick, common original  
 / / replacement

3. UTM REFERENCE:  
 Quad. Name: Frankfort West, KY  
 Date: 1997 / Zone: 16S / method: E  
 Easting: 6 8 6 1 6 6  
 Northing: 4 2 2 9 8 8 9

21. ROOF CONFIGURATION/COVERING:  
 CONFIGURATION COVERING  
Q / Flat 6 / Built-up, tar

4. OWNER/ADDRESS:

22. CONDITION: G / Good

23. MODIFICATION: \_\_\_\_\_ /

24. ARCHITECT/BUILDER:

5. FIELD RECORDER/AFFILIATION:  
Preservation Services and Technology Group, LLC

25. PHOTOGRAPH FILE #: \_\_\_\_\_

6. DATE RECORDED: May 2007

7. SPONSOR: Downtown Frankfort, Inc.

8. INITIATION: 4 / National Register

9. OTHER DOCUMENTATION/RECOGNITION:  
 Survey  HABS/HAER  
 KY Land  Local Land  
 NR  NHL



10. REPORT REFERENCE:  
N/A

11. ORIGINAL PRIMARY FUNCTION: 02A / / / /  
Commercial/Business

12. CURRENT PRIMARY FUNCTION: 02A / / / /  
Commercial/Business

13. CONSTRUCTION DATE: 4 / 1900-1924 estimated  
 / / / / / documented

14. DATE OF MAJOR MODIFICATIONS:

15. CONSTRUCTION METHOD/MATERIAL:  
BO / / Brick original  
 / / / subsequent

16. DIMENSIONS:  
 Height 3 Width 6 Depth \_\_\_\_\_ Acreage \_\_\_\_\_

17. PLAN:  
U / Undetermined / NA first  
 / / second

18. STYLISTIC INFLUENCE:  
7 / Modern ; D / Art Deco first  
 / / ; / / second

COMMENTS/HISTORICAL INFORMATION:

Contributing structure to the Frankfort Commercial Historic District.

312 Lewis Street  
Central Business Historic District

Marnie Walters, Owner/Applicant

Request

In accordance with Articles 4, 16, and 17 of the City of Frankfort Zoning Ordinance, Marnie Walters is requesting a Certificate of Appropriateness in order to modify the garage door opening on the front façade for the property located at 312 Lewis Street. The property is more particularly identified as PVA Map Number 061-24-13-022.00.

Scope of Work

- Install 10' x 18' garage door
- Frame-in area/void left from existing larger door
  - Install metal siding (running vertically) in this area
  - Siding and door will match in color (grey)
- Existing garage door will remain in place, rolled up, behind framing

Significance of Structure

The property is not contributing to the Central Frankfort National Historic District.

Guidelines - Central Business Zoning District

2. REHABILITATION GUIDELINES

- 2.7 PRIMARY ENTRANCES AND DOORS

2.7 PRIMARY ENTRANCES AND DOORS

DESIGN PRINCIPLE: Commercial buildings commonly feature an entry at the storefront and a secondary entry leading to upper-story space. Entrances, particularly at the storefront, are one of the most distinctive features of a building. From the style and configuration of the door to the inclusion of decorative and functional features, entries along Frankfort's commercial corridor vary widely, reflecting the needs of the business owner and the architectural style of the building.

Given the importance of entries in defining the character of a property and particularly the storefront, it is critical that the historic features of an entry— including door, transoms, and decorative elements— be retained and repaired as necessary. Changes to an entry should be carefully considered during the project planning process. Substantial changes such as the removal of intact entry components or enclosure of façade door openings should be avoided as they can significantly compromise the character of the building or negatively impact how potential patrons interact with a business.

2.7.1 RETAIN THE LOCATION AND CHARACTER OF HISTORIC ENTRY ASSEMBLIES ON THE FAÇADE

- A. The location, size, proportion, and shape of original door openings shall be retained.
- B. Door openings on the front façade shall not be reduced, enlarged, or filled in.

2.7.3 WHERE NECESSARY, SELECT REPLACEMENT DOORS THAT ARE COMPATIBLE WITH THE CHARACTER OF THE BUILDING

A. Original doors on the front façade shall only be replaced when they are determined to be deteriorated beyond repair.

D. Enlarging or partially enclosing an original opening on the front façade to accommodate a replacement door is discouraged.

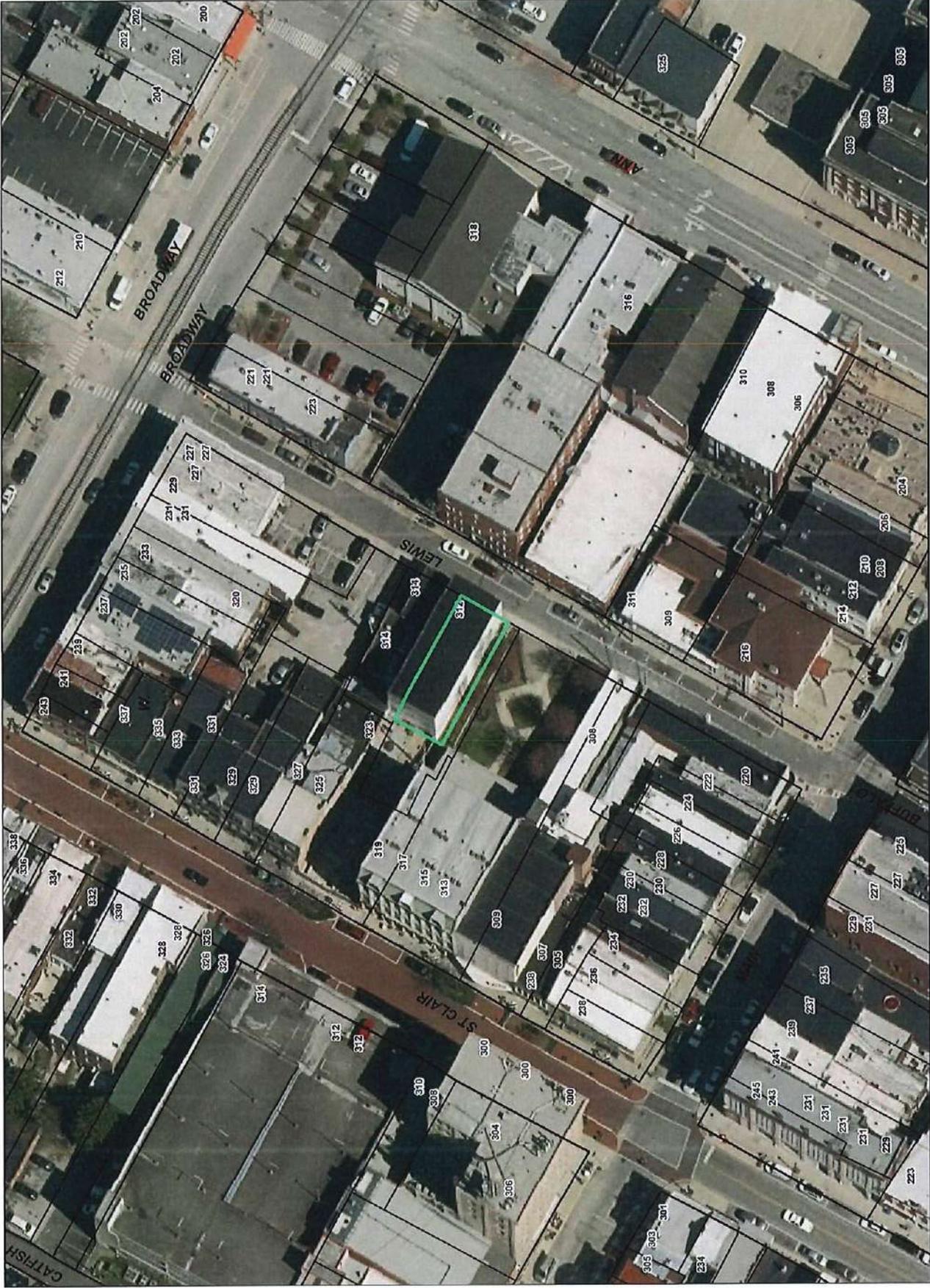
Findings

Staff has positive and negative findings for the request. The door opening will be partially filled in on the front façade, however it is non-functioning and finding a replacement door and parts of this type today would be difficult as it is a non-traditional size and design. This building was initially used as warehouse and storage for the adjacent building's furniture business, which is has not been active for several decades. The existing door will remain in place and the opening could be returned to its original size relatively easily in the future if that were desired. The existing I-beam located above the existing door will remain and will help to break up the directional expression of the building façade. Furthermore, this is not a contributing property to the district and Staff finds that this modification will not negatively affect the overall integrity of the district.

Recommendations

Staff recommends approval of the Certificate of Appropriateness with the following conditions.

1. A building permit shall be obtained prior to work commencing on the proposed project.
2. Any additional projects requiring a building permit or modifications to this proposal shall require review and approval by the Architectural Review Board unless a Certificate of No Exterior Effect is issued.





July 20, 2020

Architectural Review Board  
315 W Second St  
Frankfort KY 40601

Dear ARB members,

I am the co-owner of 312 Lewis Street. On behalf of myself and Stanley C. Nickel, I request approval to replace the overhead garage door on this building.

This building was built as a warehouse as part of the Marcus Furniture business in the 1950s. The existing overhead garage door no longer functions properly (I've attached a picture showing it raised as far as it will go without physically jamming it further). Overhead garage doors of this size are not readily available today and are no longer needed for today's use since we are only moving passenger vehicles in and out of the garage and not furniture delivery trucks.

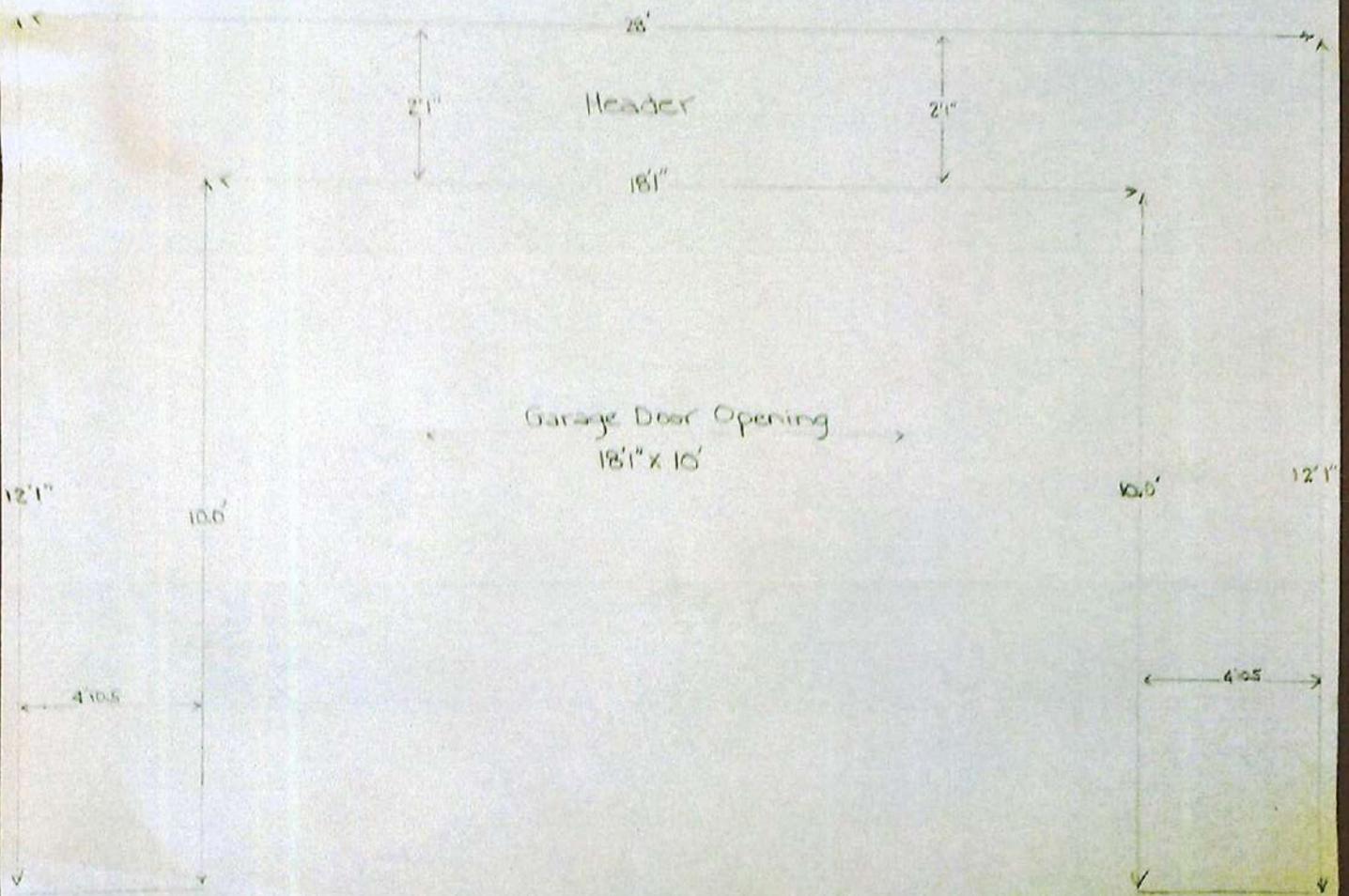
I ask your approval of my proposal, to reduce the garage door opening and install a new 18'x10' metal garage door and install metal siding to infill the larger opening.

Thank you,

  
Marnie Walters

312 Lewis St.

TOP VIEW



Interior view



existing garage door will remain in place, rolled up

312 Lewis St



view from Broadway, Lewis

312 Lewis St

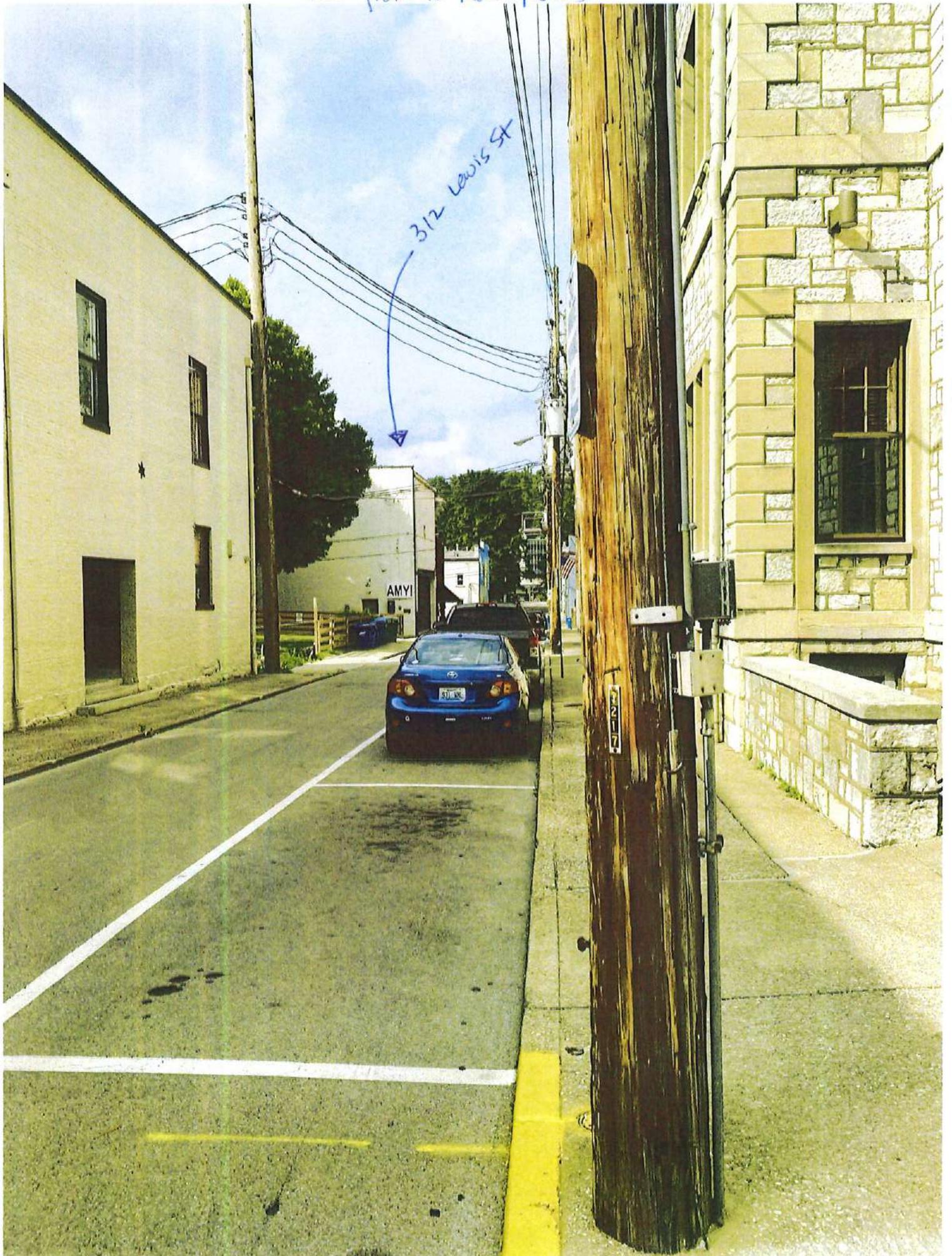


100 ft. to Main Street

312 Lewis St

AMY!

217





312 Lewis St

door to be replaced

AMY!



OVERHEAD DOORS  
The Door to Quality.

# 3250 / 3240 / 3220

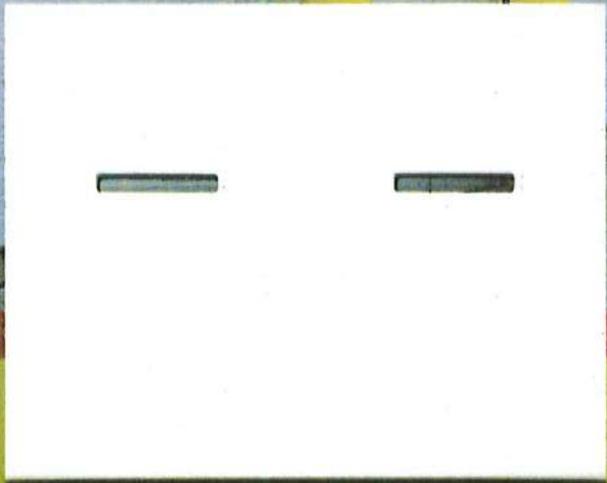
RIBBED STEEL DOORS

08 36 137/CHI

Buyline 3132

www.chiohd.com

C.H.I. OVERHEAD DOORS



8' x 7' 3242 white with optional 24" x 6" windows.

These models are also available in



## HEAVY-DUTY. RUGGED.

# IMPERIAL RIB®



Imperial Rib® panels are formed from high tensile strength, 29-gauge steel, which is protected with a Galvalume® coating. Our state-of-the-art paint system is then applied, providing years of warranted protection for our color coated panels. Refer to ABC's published color chart to select any of our many contemporary colors. Imperial Rib® is manufactured for your application and is available in cut-to-the-inch lengths.

## Product Specifications

Applications: Roof and Wall

Coverage Widths: 36"

Rib Spacing: 9" on center

Rib Height: 3/4"

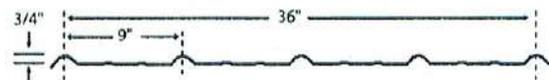
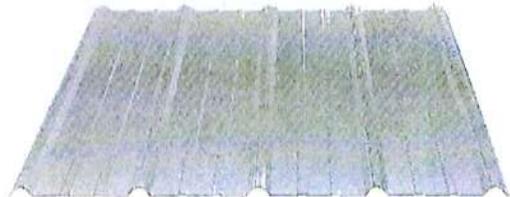
Minimum Slope: 3:12

Panel Attachment: Exposed Fastening System

Gauges: 29 (standard); 26 (optional)

Finishes: Smooth (standard); Embossed (optional)

Coatings: Galvalume Plus®, Signature® 200



## Features and Benefits

UL 580 rating is available, as well as UL 790, Class A for external fire, roof assembly for UL 263 for internal fire and the UL 2218 Class 4 impact rating.

Imperial Rib® carries Florida approval.

### Condensation Control with Drip Stop

When the temperature and humidity conditions reach the dew point, moisture can condense on the underside of metal roofing. This condensation has the potential to cause water damage and other problems inside your building when left exposed from the underside of the panel.

### Drip Stop Solutions

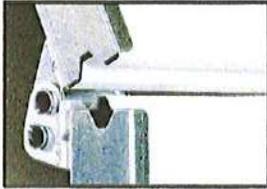
Drip Stop technology is a unique solution for protecting your assets through condensation control while maintaining the aesthetics and structural elements that ABC's roof and wall systems proudly offer.

## SPECIFICATIONS, OPTIONAL FEATURES AND ACCESSORIES



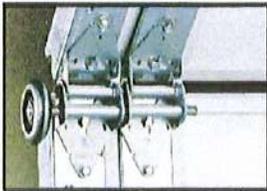
### STILES

Box type stiles include unique tabs to keep insulation retainer clips tight against the stiles.



### SECTION JOINTS

Section joints on all C.H.I. commercial doors are tongue-and-groove for a tighter weatherseal and structural rigidity.



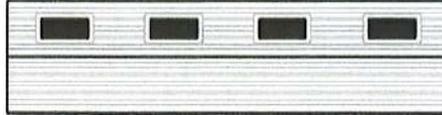
### HINGES

Larger doors come standard with double-end hinges and long-stem rollers for smooth operation and long life.

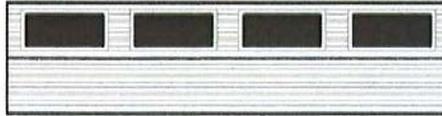
### OPTIONAL WINDOW DESIGNS 24" SECTION HEIGHT



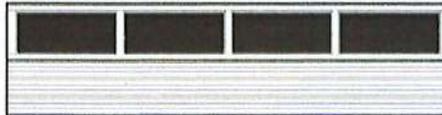
24" x 6"



24" x 12"



34" x 16" (Insulated doors ONLY)



FULL-VIEW

**C.H.I.**™  
OVERHEAD DOORS

The Door to Quality.

COLOR SELECTIONS

WHITE

SANDSTONE

GRAY

BROWN

Please note that all color options are not available for all models. Refer to samples at your local C.H.I. distributor for exact color match.

**MODEL 3250\***, Uninsulated / **3251\***, Insulated Vinyl Back / **3252\***, Insulated Steel Back

**MODEL 3240**, Uninsulated / **3241**, Insulated Vinyl Back / **3242**, Insulated Steel Back

**MODEL 3220**, Uninsulated / **3221**, Insulated Vinyl Back / **3222**, Insulated Steel Back

### SECTIONS

Roll-formed steel sections are 2" thick, hot-dipped galvanized with a baked-on polyester finish

- Sections are available in:
  - 3250\* (25-gauge) white
  - 3240 white, brown, gray, and sandstone
  - 3220 (20-gauge) white
- Stiles are box-shaped and galvanized
- Section joints are tongue-and-groove
- Bottom "U" type astragal is a standard feature
- Stiles are face-riveted vs. glued

### TRACKS

- Tracks are 2" or 3", as specified
- Available in bracket mount, clip angle mount, angle mount, 12" radius, 15" radius, high lift, vertical lift, roof pitch, or dual track low headroom

### HARDWARE

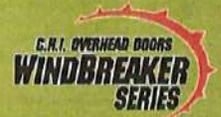
- Package includes 11-gauge or 14-gauge hinges as specified
- 2" or 3" long-stem or short-stem steel rollers with 10 ball bearings
- Heavy-duty adjustable top roller brackets

### SPRINGS

- Torsion springs are helically wound with stress relieved, oil-tempered wire
- Springs are individually calibrated for each door
- Counter-balance torsion shafts are galvanized for rust resistance
- High cycle spring options may be specified

### INSULATION TYPE

- CFC free polystyrene with high impact vinyl back cover
- CFC free polystyrene with 27-gauge steel back cover
- Stiles include special clips to hold insulation retainer in position
- Insulated doors have a R-value of 8.0



Wind can be unpredictable and destructive. This is why C.H.I. Windbreaker Series doors are designed, tested, and built to the most rugged specifications. Wind chamber tested to ensure wind-load resistance, these extra-sturdy designs provide enhanced defense against the elements.

VISIT YOUR DOOR PROFESSIONAL AT:

C.H.I. Overhead Doors are manufactured in Arthur, Illinois, USA.



### DOOR CONSTRUCTION

Each model utilizes either 25, 24 or 20-gauge exterior steel skins. Chosen for their weather resistant features, models 3251\*, 3241 and 3221 utilize a 1-3/8" thick CFC free polystyrene insulation with a vinyl back, while models 3252\*, 3242 and 3222 employ a 1-3/8" thick CFC free polystyrene insulation with a steel back.

3251\*, 3241, 3222 ..... R-value - 8.0  
3252\*, 3242, 3222 ..... R-value - 8.0

FLIER NUMBER\_M3250-1010R6

\*The steel characteristics and thickness used in models 3250/3251/3252 are equivalent to the "nominal 24 gauge" classification used by other manufacturers in the door industry

All information presented is based on the specifications and features available at the time of printing and is subject to change without notice.

# COMMERCIAL/ INDUSTRIAL PANELS AND COLORS

## Product Selection Chart

PANEL PROFILE	Panel	29 GAUGE		26 GAUGE			24 GAUGE			22 GAUGE	
		Galvalume Plus*	Sig 200	Galvalume Plus*	Sig 260	Sig 300	Galvalume Plus*	Sig 200	Sig 300	Galvalume Plus*	Sig 200
<p>*PBR* PANEL</p>	PBR	■	■	■	■	■	■	■	■	■	■
<p>*PBU* PANEL</p>	PBU	■	■	■	■	■	■	■	■	■	■
<p>*PBC* PANEL</p>	PBC	■	■	■	■	■	■	■	■	■	■
<p>*PBD* PANEL</p>	PBD	■	■	■	■	■	■	■	■	■	■
<p>7.2 PANEL</p>	7.2	■	■	■	■	■	■	■	■	■	■
<p>*AVP* PANEL</p>	AVP	■	■	■	■	■	■	■	■	■	■

■ Available in any quantity

■ May require minimum quantity

### Signature® 200

STANDARD COLORS  
26- AND 24-GAUGE MATERIAL

### Siliconized Polyester

Polar White is a Straight Polyester.

\*\* Minimum quantities and/or extended lead times required for 24-gauge. Please inquire.

Signature® is a registered trademark of NCI Group, Inc.



HAWAIIAN BLUE\*\*



CRIMSON RED\*\*



FERN GREEN\*\*



BURNISHED SLATE\*\*

SOLAR WHITE\*\*



ASH GRAY



SADDLE TAN



DESERT SAND



KOKO BROWN

POLAR WHITE



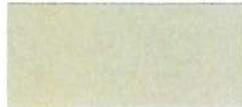
CHARCOAL GRAY\*\*



COBALT BLUE\*\*



RUSTIC RED



LIGHT STONE

### Signature® 300

STANDARD COLORS  
26-GAUGE MATERIAL  
NOT AVAILABLE IN 7.2 PANEL

### Polyvinylidene Fluoride (PVDF); Low Gloss

\*\* Minimum quantities and/or extended lead times required for 24-gauge. Please inquire.

† Minimum quantities and/or extended lead times required for all gauges. Please inquire.

Signature® is a registered trademark of NCI Group, Inc.



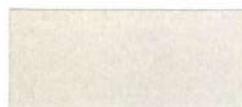
MEDIUM BRONZE



SNOW WHITE



SLATE GRAY\*\*



ALMOND

BONE WHITE\*\*



CLASSIC GREEN\*\*



BROWNSTONE



BRITE RED †



HARBOR BLUE\*\*